

PAPA MURPHY'S - JUNCTION CITY

DEVELOPMENT REVIEW

S & G INVESTMENTS, INC.

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 JUNCTION CITY, OREGON 97448

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LANDSCAPE

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ABBREVIATIONS

@	AT
BOT	BOTTOM
CLR	CLEAR
DN	DOWN
(E)	EXISTING
ELEC	ELECTRICAL
ROW	RIGHT OF WAY
T.O.	TOP OF
TYP	TYPICAL
UN	UNLESS OTHERWISE NOTED
W/	WITH

NOTE: THIS LIST IS INCOMPLETE, VERIFY UNLISTED ABBREVIATIONS WITH ARCHITECT

SYMBOLS

ROOM IDENTIFICATION	ROOM NAME
BUILDING STRUCTURE GRID	X

BASIS OF DESIGN

CONSTRUCTION TYPE:	V-B
OCCUPANCY GROUP:	M
BUILDING PROJECT AREA:	2,047 SF
FIRE PROTECTION:	NON-SPRINKLED
BUILDING CODE:	2014 OSSC

PROJECT DESCRIPTION

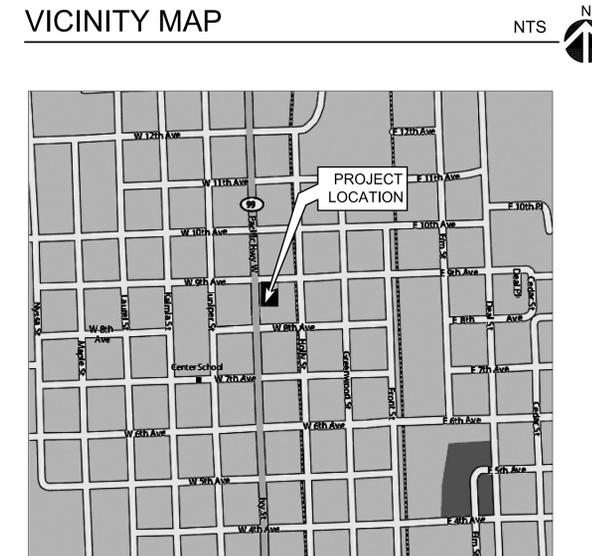
THIS PROJECT INCLUDES THE FOLLOWING:

DEVELOPMENT REVIEW APPROVAL FOR THE REDEVELOPMENT OF THE OLD BOB'S HAMBURGER SITE, LANE COUNTY ASSESSOR'S MAP 15-04-32-31 TAX LOTS 9100 AND 9200, WHICH TOTALS APPROXIMATELY 0.22-ACRES (9,584 SQUARE FEET). THE PROPOSED PROJECT INCLUDES THE DEVELOPMENT OF A NEW APPROXIMATELY 2,047 SQUARE FEET SINGLE-STORY BUILDING FOR A COMMERCIAL RETAIL TENANT (PAPA MURPHY'S) WITH ASSOCIATED PARKING, LANDSCAPING, AND SITE INFRASTRUCTURE. THE PROPOSAL IS TO MAINTAIN THE EXISTING DRIVEWAY ON IVY STREET AND ACCESS TO THE ALLEY FROM BOTH PROPERTIES. THE IVY STREET ACCESS HAS AN EXISTING APPROVED OREGON DEPARTMENT OF TRANSPORTATION (ODOT) APPROACH PERMIT ON FILE. THE EXISTING WEST 9TH AVENUE DRIVEWAY IS PROPOSED TO BE NARROWED FOR USE AS A TRASH-ONLY CURB CUT.

ASSESSOR'S MAP & TAX LOT

ASSESSOR'S MAP 15-04-32-32
 TAX LOTS 9100 & 9200

VICINITY MAP



PAPA MURPHY'S - JUNCTION CITY
DEVELOPMENT REVIEW
S & G INVESTMENTS, INC.
 890 IVY STREET
 JUNCTION CITY, OREGON 97448

TITLE SHEET

PROJECT # 201401
 DRAWN JG
 CHECKED JL
 DATE 05.09.2016

SHEET
T1

GENERAL NOTES:

- CONTRACTOR SHALL PROCURE AND CONFORM TO ALL CONSTRUCTION PERMITS REQUIRED BY THE CITY OF JUNCTION CITY AND LANE COUNTY.
- CONTRACTOR SHALL PROCURE A RIGHT-OF-ENTRY PERMIT FROM ODOT STATE HIGHWAY DIVISION FOR ALL WORK WITHIN THE STATE RIGHT-OF-WAY AND CONFORM TO ALL CONDITIONS OF THE PERMIT.
- CONTRACTOR SHALL PROVIDE ALL BONDS AND INSURANCE REQUIRED BY PUBLIC AND/OR PRIVATE AGENCIES HAVING JURISDICTION.
- ALL MATERIALS AND WORKMANSHIP FOR FACILITIES IN STREET RIGHT-OF-WAY OR EASEMENTS SHALL CONFORM TO APPROVING AGENCIES' CONSTRUCTION SPECIFICATIONS WHEREIN EACH HAS JURISDICTION, INCLUDING BUT NOT LIMITED TO THE CITY, COUNTY, OREGON HEALTH DIVISION (OHD) AND THE OREGON DEPARTMENT OF ENVIRONMENTAL QUALITY (DEQ).
- UNLESS OTHERWISE APPROVED BY THE PUBLIC WORKS DIRECTOR, CONSTRUCTION OF ALL PUBLIC FACILITIES SHALL BE DONE BETWEEN 7:00 A.M. AND 6:00 P.M. MONDAY THROUGH SATURDAY.
- THE CONTRACTOR SHALL PERFORM ALL WORK NECESSARY TO COMPLETE THE PROJECT IN ACCORDANCE WITH THE APPROVED CONSTRUCTION DRAWINGS INCLUDING SUCH INCIDENTALS AS MAY BE NECESSARY TO MEET APPLICABLE AGENCY REQUIREMENTS AND PROVIDE A COMPLETED PROJECT.
- CONTRACTOR TO NOTIFY CITY, COUNTY, ODOT AND ALL UTILITY COMPANIES A MINIMUM OF 48 BUSINESS HOURS (2 BUSINESS DAYS) PRIOR TO START OF CONSTRUCTION, AND COMPLY WITH ALL OTHER REQUIREMENTS OF ORS 757.541 TO 757.571.
- ANY INSPECTION BY THE CITY, COUNTY OR OTHER AGENCIES SHALL NOT, IN ANY WAY, RELIEVE THE CONTRACTOR FROM ANY OBLIGATION TO PERFORM THE WORK IN STRICT COMPLIANCE WITH THE APPLICABLE CODES AND AGENCY REQUIREMENTS.
- CONTRACTOR SHALL ERECT AND MAINTAIN BARRICADES, WARNING SIGNS, TRAFFIC CONES (AND ALL OTHER TRAFFIC CONTROL DEVICES REQUIRED) PER CITY, COUNTY AND ODOT REQUIREMENTS IN ACCORDANCE WITH THE CURRENT MUTCD (INCLUDING OREGON AMENDMENTS). ACCESS TO DRIVEWAYS SHALL BE MAINTAINED AT ALL TIMES. ALL TRAFFIC CONTROL MEASURES SHALL BE APPROVED AND IN PLACE PRIOR TO ANY CONSTRUCTION ACTIVITY.
- RECORD DRAWINGS: THE CONTRACTOR SHALL MAINTAIN ONE COMPLETE SET OF APPROVED DRAWINGS ON THE CONSTRUCTION SITE AT ALL TIMES WHEREIN THE WILL RECORD ANY APPROVED DEVIATIONS IN CONSTRUCTION FROM THE APPROVED DRAWINGS, AS WELL AS THE LOCATION LOCATIONS AND DEPTHS OF ALL EXISTING UTILITIES ENCOUNTERED. THESE FIELD RECORD DRAWINGS SHALL BE KEPT UP TO DATE AT ALL TIMES AND SHALL BE AVAILABLE FOR INSPECTION BY THE CITY UPON REQUEST.
- UPON COMPLETION OF CONSTRUCTION OF PUBLIC FACILITIES, CONTRACTOR SHALL SUBMIT A CLEAN SET OF FIELD RECORD DRAWINGS CONTAINING ALL AS-BUILT INFORMATION TO THE DESIGN ENGINEER FOR USE IN THE PREPARATION OF AS-BUILT DRAWINGS FOR SUBMITTAL TO THE CITY.
- THE CONTRACTOR SHALL SUBMIT A SUITABLE MAINTENANCE BOND PRIOR TO FINAL PAYMENT WHERE REQUIRED BY PUBLIC AND/OR PRIVATE AGENCIES HAVING JURISDICTION.
- CONTRACTOR SHALL PROCURE AND CONFORM TO DEQ STORMWATER PERMIT NO. 1200C FOR CONSTRUCTION ACTIVITIES WHERE 1 ACRES OR MORE ARE DISTURBED.
- ELEVATIONS SHOWN ON THE DRAWINGS ARE BASED ON NATIONAL GEODETIC SURVEY BENCHMARK "R 728", STAMPED: "R 728 1987". THE BENCHMARK IS NOTED AS "LCBM #165" IN THE FILES OF THE LANE COUNTY SURVEY DEPARTMENT. THE BENCHMARK IS A STAINLESS STEEL ROD INSIDE A MONUMENT CASE, SAID BENCHMARK IS LOCATED AT THE INTERSECTION OF 12TH AVENUE AND HOLLY STREET (NORTH SIDE OF 12TH AVENUE). PUBLISHED ELEVATION = (NAVD 88 DATUM = 324.75) CONVERTED TO NGVD 1929 DATUM = 321.26. THE "AS BUILT" DOCUMENTS SUPPLIED FOR THIS PROJECT BY THE JUNCTION CITY PUBLIC WORKS DEPARTMENT ARE BASED ON THE NGVD DATUM CORRESPONDING TO THE FIELD ELEVATION READINGS.
- ADDRESS NUMBERS: PER ORS 505.1, ALL NEW AND EXISTING BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS (4" MINIMUM NUMBER HEIGHT, COLOR TO CONTRAST WITH BACKGROUND) PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE FRONTING STREET. FOR FLAGLOTS OR OTHER SITUATIONS WHERE THE STRUCTURE IS NOT VISIBLE FROM THE PUBLIC STREET, AN ADDRESS SIGN SHALL BE INSTALLED NEAR THE ENTRANCE TO THE DRIVEWAY OR PRIVATE ROAD. TEMPORARY ADDRESS SIGNS SHALL BE MOUNTED IN A VISIBLE LOCATION PRIOR TO AND DURING ANY CONSTRUCTION. ADDRESS NUMBERS MOUNTED PRIOR TO OCCUPANCY, IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET FRONTING THE PROPERTY.

EXISTING UTILITIES & FACILITIES:

- ATTENTION: OREGON LAW REQUIRES YOU TO FOLLOW RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER. THOSE RULES ARE SET FORTH IN OAR 952-001-0010 THROUGH OAR 952-001-0090. YOU MAY OBTAIN COPIES OF THE RULES BY CALLING THE CENTER. (NOTE: THE TELEPHONE NUMBER FOR THE OREGON UTILITY NOTIFICATION CENTER IS (503) 232-1987).
- THE LOCATION AND DESCRIPTIONS OF EXISTING UTILITIES SHOWN ON THE DRAWINGS ARE COMPILED FROM AVAILABLE RECORDS AND/OR FIELD SURVEYS. THE ENGINEER OR UTILITY COMPANIES DO NOT GUARANTEE THE ACCURACY OR THE COMPLETENESS OF SUCH RECORDS. CONTRACTOR SHALL FIELD VERIFY SIZES AND LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL LOCATE AND MARK ALL EXISTING PROPERTY AND STREET MONUMENTS PRIOR TO CONSTRUCTION. ANY MONUMENTS DISTURBED DURING CONSTRUCTION OF THE PROJECT SHALL BE REPLACED BY A REGISTERED LAND SURVEYOR AT THE CONTRACTOR'S EXPENSE. THE MONUMENTS SHALL BE REPLACED WITHIN A MAXIMUM OF 90 DAYS, AND THE COUNTY SURVEYOR SHALL BE NOTIFIED IN WRITING AS REQUIRED BY ORS 429.150.
- CONTRACTOR SHALL FIELD VERIFY LOCATION AND DEPTH OF ALL EXISTING UTILITIES WHERE NEW FACILITIES CROSS. ALL UTILITY CROSSINGS MARKED OR SHOWN ON THE DRAWINGS SHALL BE POTHOLED USING HAND TOOLS OR OTHER NON-INVASIVE METHODS PRIOR TO EXCAVATING OR BORING. CONTRACTOR SHALL BE RESPONSIBLE FOR EXPOSING POTENTIAL UTILITY CONFLICTS FAR ENOUGH AHEAD OF CONSTRUCTION TO MAKE NECESSARY GRADE MODIFICATIONS WITHOUT DELAYING THE WORK. IF GRADE MODIFICATION IS NECESSARY, CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER, AND THE DESIGN ENGINEER SHALL OBTAIN APPROVAL FROM THE CITY ENGINEER PRIOR TO CONSTRUCTION. ALL UTILITY CROSSINGS SHALL BE POTHOLED AS NECESSARY PRIOR TO EXCAVATING OR BORING TO ALLOW THE CONTRACTOR TO PREVENT GRADE OR ALIGNMENT CONFLICTS.
- ALL EXISTING UTILITIES SHALL BE MAINTAINED IN-PLACE BY THE CONTRACTOR UNLESS OTHERWISE SHOWN OR DIRECTED. CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO SUPPORT, MAINTAIN, OR OTHERWISE PROTECT EXISTING UTILITIES AND OTHER FACILITIES AT ALL TIMES DURING CONSTRUCTION. CONTRACTOR TO LEAVE EXISTING FACILITIES IN AN EQUAL OR BETTER-THAN-ORIGINAL CONDITION AND TO THE SATISFACTION OF THE CITY ENGINEER.
- UTILITIES, OR INTERFERING PORTIONS OF UTILITIES, THAT ARE ABANDONED IN PLACE SHALL BE REMOVED BY THE CONTRACTOR TO THE EXTENT NECESSARY TO ACCOMPLISH THE WORK. THE CONTRACTOR SHALL PLUG THE REMAINING EXPOSED ENDS OF ABANDONED UTILITIES.
- CONTRACTOR SHALL REMOVE ALL EXISTING SIGNS, MAILBOXES, FENCES, LANDSCAPING, ETC., AS REQUIRED TO AVOID DAMAGE DURING CONSTRUCTION AND REPLACE THEM TO EXISTING OR BETTER CONDITION.
- ANY SEPTIC TANKS ENCOUNTERED DURING CONSTRUCTION SHALL BE PUMPED OUT. CONTRACTOR SHALL BREAK BOTTOM OF TANK OUT AND BACKFILL WITH PEA GRAVEL UNLESS OTHERWISE REQUIRED BY PUBLIC AGENCIES HAVING JURISDICTION. SEPTIC TANK REMOVAL TO BE IN ACCORDANCE WITH COUNTY SANITARIAN REQUIREMENTS.
- ANY WELLS ENCOUNTERED SHALL BE ABANDONED PER STATE OF OREGON WATER RESOURCES DEPARTMENT REQUIREMENTS.
- ANY FUEL TANKS ENCOUNTERED SHALL BE REMOVED AND DISPOSED OF PER STATE OF OREGON DEQ REQUIREMENTS. BACKFILL WITH COMPACTED GRANULAR MATERIAL.

GRADING, PAVING & DRAINAGE:

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MANAGING CONSTRUCTION ACTIVITIES TO INSURE THAT PUBLIC STREETS AND RIGHT-OF-WAYS ARE KEPT CLEAN OF MUD, DUST OR DEBRIS. DUST ABATEMENT SHALL BE MAINTAINED BY ADEQUATE WATERING OF THE SITE BY THE CONTRACTOR.
- UNLESS OTHERWISE NOTED, ALL GRADING, ROCKING AND PAVING TO CONFORM TO OSSC (ODOT/APWA) SPECIFICATIONS, 2002 EDITION.
- CLEAR AND GRUB WITHIN WORK LIMITS ALL SURFACE VEGETATION, TREES, STUMPS, BRUSH, ROOTS, ETC. DO NOT DAMAGE OR REMOVE TREES EXCEPT AS APPROVED BY THE ENGINEER OR AS SHOWN ON THE DRAWINGS. PROTECT ALL ROOTS TWO INCHES IN DIAMETER OR LARGER.
- STRIP WORK LIMITS, REMOVING ALL ORGANIC MATTER WHICH CANNOT BE COMPACTED INTO A STABLE MASS. ALL TREES, BRUSH AND DEBRIS ASSOCIATED WITH CLEARING, STRIPPING OR GRADING SHALL BE REMOVED AND DISPOSED OF OFF-SITE.
- IMMEDIATELY FOLLOWING FINE GRADING OPERATIONS, COMPACT SUBGRADE TO 95% OF THE MAXIMUM DRY DENSITY PER AASHTO T-180 TEST METHOD (MODIFIED PROCTOR). SUBGRADE MUST BE INSPECTED AND APPROVED BY THE CITY PRIOR TO PLACING EMBANKMENTS OR BASE ROCK.
- ALL FILLS OUTSIDE OF PUBLIC RIGHT-OF-WAYS WHICH ARE WITHIN POTENTIAL BUILDING ENVELOPES SHALL BE ENGINEERED AND COMPLY WITH THE OREGON STRUCTURAL SPECIALTY CODE, WITH EACH LIFT COMPACTED TO 90% OF THE MAXIMUM DRY DENSITY PER AASHTO T-180 TEST METHOD (MODIFIED PROCTOR). FILLS OUTSIDE OF BUILDING ENVELOPES WHICH ARE OVER 12-INCHES IN DEPTH SHALL ALSO BE ENGINEERED AND COMPACTED.
- UNLESS OTHERWISE SHOWN ON THE DRAWINGS, STRAIGHT GRADES SHALL BE RUN BETWEEN ALL FINISH GRADE ELEVATIONS AND/OR FINISH CONTOUR LINES SHOWN. FINISH PAVEMENT GRADES AT TRANSITION TO EXISTING PAVEMENT SHALL MATCH EXISTING PAVEMENT GRADES OR BE FEATHERED PAST JOINTS WITH EXISTING PAVEMENT AS REQUIRED TO PROVIDE A SMOOTH, FREE DRAINING SURFACE.
- CRUSHED ROCK SHALL CONFORM TO THE REQUIREMENTS OF OSSC (ODOT/APWA) 02630.10 (DENSE GRADED BASE AGGREGATE), WITH NO MORE THAN 10% PASSING THE #40 SIEVE AND NO MORE THAN 5% PASSING THE #200 SIEVE. COMPACT TO 95% OF THE MAXIMUM DRY DENSITY PER AASHTO T-180 TEST METHOD (MODIFIED PROCTOR). PRIOR TO PLACING AC PAVEMENT, WRITTEN COMPACTION TEST RESULTS FOR BASEROCK AND TRENCH BACKFILL MUST BE RECEIVED BY THE CITY, AND A PROOF-ROLL (WITNESSED BY THE CITY) MUST BE PERFORMED.

- PAVING OF STREETS SHALL NOT BE ALLOWED UNTIL AFTER COMPLETION OF ALL REQUIRED TESTING AND INSPECTION OF NEW WATER, SEWER AND STORM DRAIN LINES UNDER PAVED AREAS, AND REVIEW AND APPROVAL OF THE PRIVATE (FRANCHISE) UTILITY PLANS BY THE CITY.
- A.C. PAVEMENT SHALL CONFORM TO OSSC (ODOT/APWA) 00744 (MINOR HOT MIXED ASPHALT CONCRETE (HMAC) PAVEMENTS) FOR STANDARD DUTY MIX. AC PAVEMENT SHALL BE COMPACTED TO A MINIMUM OF 91% OF MAXIMUM DENSITY (AT ALL LOCATIONS) AS DETERMINED BY THE RICE STANDARD METHOD.
- ALL EXISTING OR CONSTRUCTED MANHOLES, CLEANOUTS, MONUMENTS, GAS VALVES, WATER VALVES AND SIMILAR STRUCTURES SHALL BE ADJUSTED TO MATCH FINISH GRADE OF THE PAVEMENT, SIDEWALK, LANDSCAPED AREA OR MEDIAN STRIP WHEREIN THEY LIE.
- UNLESS OTHERWISE SHOWN ON THE DRAWINGS, NO CUT OR FILL SLOPES SHALL BE CONSTRUCTED STEEPER THAN 2H:1V.
- ALL PLANTER AREAS SHALL BE BACKFILLED WITH APPROVED TOP SOIL MINIMUM 8" THICK. STRIPPING MATERIALS SHALL NOT BE USED FOR PLANTER BACKFILL.
- CONTRACTOR SHALL HYDROSEED ALL EXPOSED SLOPES AND DISTURBED AREAS WHICH ARE NOT SCHEDULED TO BE LANDSCAPED.

CURBS & SIDEWALKS

- UNLESS OTHERWISE SHOWN OR INDICATED ON THE DRAWINGS, 6-INCHES NOMINAL CURB EXPOSURE USED FOR DESIGN OF ALL PARKING LOT AND STREET GRADES.
- CONTRACTOR SHALL PROVIDE A MINIMUM TWO 3-INCH DIAMETER WEEP HOLES PER LOT IN CURB TO PROVIDE FOR LOT DRAINAGE. ONE WEEP HOLE SHALL BE LOCATED 5 FEET FROM THE PROPERTY LINE ON THE LOW POINT IN THE LOT FRONTAGE. WEEP HOLES SHALL ALSO BE PROVIDED AS REQUIRED FOR ADDITIONAL DRAINPIPES SHOWN ON THE DRAWINGS, AS WELL AS ON BOTH SIDES OF DRIVEWAY APRONS. CONTRACTOR SHALL INSTALL DRAINPIPE (SMOOTH WALL PIPE OR ABS) FROM EACH WEEP HOLE TO THE BACK OF SIDEWALK LOCATION PRIOR TO ACCEPTANCE OF THE CURBING BY THE CITY, AND SHALL CONNECT TO EXISTING DRAIN PIPING WHERE SUCH PIPING EXISTS WITHIN OR ADJACENT TO THE RIGHT-OF-WAY OR EASEMENT. WEEP HOLES INSTALLED IN EXISTING CURBS SHALL BE CORE DRILLED.
- CURBS SHALL BE STAMPED WITH AN "S", "D" OR A "W" AT THE POINT WHERE EACH SANITARY SEWER, STORM DRAIN OR WATER SERVICE LATERAL CROSSES THE CURB, RESPECTIVELY. LETTERS SHALL BE A MINIMUM OF 2-INCHES HIGH.
- SIDEWALKS SHALL BE A MINIMUM OF 4-INCHES THICK AND STANDARD DRIVEWAYS SHALL BE A MINIMUM OF 6-INCHES THICK. COMMERCIAL USE DRIVEWAYS AND ALLEY APPROACHES SHALL BE MINIMUM 8-INCHES THICK. ALL CURBS, SIDEWALKS AND DRIVEWAYS SHALL BE CONSTRUCTED USING 3300-PSI CONCRETE, AND SHALL BE CURED WITH TYPE 1 OR TYPE 10 CLEAR CURING COMPOUND.
- CONTRACTOR SHALL CONDUCT A FLOOD TEST OF ALL PEDESTRIAN RAMPS AFTER CONCRETE IS CURED TO DEMONSTRATE THAT THE RAMP DOES NOT HOLD WATER. AFTER WATER IS POURED INTO THE RAMP AREA, THE INSPECTOR SHALL CHECK THE RAMP 15 MINUTES LATER TO DETERMINE IF WATER IS PONDING IN THE RAMP OR GUTTER AREA. IF WATER IS PONDING IN THE RAMP OR GUTTER AREA AND THE POND IS MORE THAN 1-FOOT IN LENGTH OR 1/4-INCH IN DEPTH, THE CONTRACTOR SHALL BE REQUIRED TO MAKE REPAIRS IN AN APPROVED MANNER AT HIS SOLE EXPENSE.
- WHERE TRENCH EXCAVATION REQUIRES REMOVAL OF PCC CURBS AND/OR SIDEWALKS, THE CURBS AND/OR SIDEWALKS SHALL BE SAWCUT AND REMOVED AT A TOOLED JOINT UNLESS OTHERWISE AUTHORIZED IN WRITING BY THE CITY. THE SAWCUT LINES SHOWN ON THE DRAWINGS ARE SCHEMATIC AND NOT INTENDED TO SHOW THE EXACT ALIGNMENT OF SUCH CUTS.

PIPED UTILITIES:

- CONTRACTOR SHALL COORDINATE AND PAY ALL COSTS ASSOCIATED WITH CONNECTING TO EXISTING WATER, SANITARY SEWER AND STORM SEWER FACILITIES.
- UNLESS OTHERWISE NOTED, MATERIALS AND WORKMANSHIP FOR WATER, SANITARY SEWER AND STORM SEWER SHALL CONFORM TO OSSC (ODOT/APWA) SPECIFICATIONS, 2002 EDITION.
- THE CONTRACTOR SHALL HAVE APPROPRIATE EQUIPMENT ON SITE TO PRODUCE A FIRM, SMOOTH, UNDISTURBED SUBGRADE AT THE TRENCH BOTTOM, TRUE TO GRADE. THE BOTTOM OF THE TRENCH EXCAVATION SHALL BE SMOOTH, FREE OF LOOSE MATERIALS OR TOOTH GROOVES FOR THE ENTIRE WIDTH OF THE TRENCH PRIOR TO PLACING THE GRANULAR BEDDING MATERIAL.
- BEDDING AND BACKFILL: ALL PIPES SHALL BE BEDDED WITH MINIMUM 6-INCHES OF 3/4" MINUS CRUSHED ROCK BEDDING AND BACKFILLED WITH COMPACTED 3/4" MINUS CRUSHED ROCK IN THE PIPE ZONE (CRUSHED ROCK SHALL EXTEND A MINIMUM OF 12-INCHES OVER THE TOP OF THE PIPE IN ALL CASES). CRUSHED ROCK TRENCH BACKFILL SHALL BE USED UNDER ALL IMPROVED AREAS, INCLUDING SIDEWALKS. GRANULAR TRENCH BACKFILL SHALL BE COMPACTED TO 92% OF THE MAXIMUM DRY DENSITY PER AASHTO T-180 TEST METHOD (MODIFIED PROCTOR).
- CONTRACTOR SHALL ARRANGE FOR AND PAY ALL COSTS TO ABANDON EXISTING SEWER AND WATER SERVICES NOT SCHEDULED TO REMAIN IN SERVICE.
- ALL PIPED UTILITIES ABANDONED IN PLACE SHALL HAVE ALL OPENINGS CLOSED WITH CONCRETE PLUGS WITH A MINIMUM LENGTH EQUAL TO 2 TIMES THE DIAMETER OF THE ABANDONED PIPE.
- THE END OF ALL UTILITY STUBS SHALL BE MARKED WITH A 2"-X-4", EXTENDING 2 FEET MINIMUM ABOVE FINISH GRADE, PAINTED WHITE AND WIRED TO PIPE STUB (PAINTED WHITE FOR SANITARY SEWER, GREEN FOR STORM). TYPE OF UTILITY (IE. SEWER, STORM, ETC) AND DEPTH BELOW GRADE TO PIPE INVERT SHALL BE CLEARLY & PERMANENTLY LABELED ON THE MARKER POST.
- CONTRACTOR SHALL PROVIDE ALL MATERIALS, EQUIPMENT AND FACILITIES REQUIRED FOR TESTING ALL UTILITY PIPING IN ACCORDANCE WITH CITY CONSTRUCTION SPECIFICATIONS.
- TRACER WIRE: ALL NON-METALLIC WATER, SANITARY AND STORM SEWER PIPING LOCATED OUTSIDE OF THE PUBLIC RIGHT-OF-WAY OR NOT LAID IN STRAIGHT LINES BETWEEN STRUCTURES SHALL HAVE AN ELECTRICALLY CONDUCTIVE INSULATED 12 GAUGE SOLID CORE COPPER TRACER WIRE THE FULL LENGTH OF THE INSTALLED PIPE USING BLUE WIRE FOR WATER AND GREEN FOR STORM AND SANITARY PIPING. TRACER WIRE SHALL BE EXTENDED UP INTO ALL VALVE BOXES, AND MANHOLES AND CATCH BASINS. TRACER WIRE PENETRATIONS INTO MANHOLES SHALL BE WITHIN 18 INCHES OF THE RIM ELEVATION AND ADJACENT TO MANHOLE STEPS. THE TRACER WIRE SHALL BE TIED TO THE TOP MANHOLE STEP OR OTHERWISE SUPPORTED TO ALLOW RETRIEVAL FROM THE OUTSIDE OF THE MANHOLE OR CATCH BASIN. ALL TRACER WIRE SPLICES SHALL BE MADE WITH WATERPROOF SPLICES OR WATERPROOF/CORROSION RESISTANT WIRE NUTS.
- WARNING TAPE: DETECTABLE OR NON-DETECTABLE ACID AND ALKALI RESISTANT SAFETY WARNING TAPE SHALL BE PROVIDED ALONG THE FULL LENGTH OF ALL SANITARY SEWER AND STORM DRAIN SERVICE LATERALS AND ALONG ALL WATER, SANITARY SEWER AND STORM DRAIN MAINLINE SEGMENTS NOT LOCATED UNDER SIDEWALKS OR PAVED PORTIONS OF PUBLIC STREETS. UNDERGROUND WARNING TAPE SHALL BE CONTINUOUS THE ENTIRE LENGTH OF SERVICE LATERALS INSTALLED FROM THE MAINLINE TO THE BACK OF THE PUE.
- NO TRENCHES IN ROADS OR DRIVEWAYS SHALL BE LEFT IN AN OPEN CONDITION OVERNIGHT. ALL SUCH TRENCHES SHALL BE CLOSED BEFORE THE END OF EACH WORK DAY AND NORMAL TRAFFIC FLOWS RESTORED.

SANITARY SEWER

- UNLESS OTHERWISE SHOWN, SANITARY SEWER PIPE SHALL BE PVC IN CONFORMANCE WITH ASTM D3034, SDR 35. ALL OTHER APPURTENANCES AND INSTALLATION TO CONFORM TO THE CITY SPECIFICATIONS.
- ALL PRECAST MANHOLES SHALL BE PROVIDED WITH INTEGRAL RUBBER BOOTS. LOCKDOWN LIDS REQUIRED ON ALL MANHOLES OUTSIDE OF PUBLIC RIGHT-OF-WAY.
- OPENINGS FOR CONNECTIONS TO EXISTING MANHOLES SHALL BE MADE BY CORE-DRILLING THE EXISTING MANHOLE STRUCTURE AND INSTALLING A RUBBER BOOT. CONNECTIONS TO BE WATERTIGHT AND SHALL PROVIDE A SMOOTH FLOW INTO AND THROUGH THE MANHOLE. SMALL CHIPPING HAMMERS OR SIMILAR LIGHT TOOLS WHICH WILL NOT DAMAGE OR CRACK THE MANHOLE BASE MAY BE USED TO SHAPE CHANNELS. USE OF LARGE PNEUMATIC JACKHAMMERS SHALL BE PROHIBITED. UNLESS OTHERWISE APPROVED IN WRITING BY THE CITY ENGINEER, MANHOLE STEPS SHALL BE INSTALLED IN ANY MANHOLE TAPPED WHICH DOES NOT HAVE EXISTING STEPS.
- CLEANING: PRIOR TO LEAKAGE TESTING, MANDREL TESTING AND/OR TV INSPECTION, FLUSH AND CLEAN ALL SANITARY SEWERS AND LATERALS, AND REMOVE ALL FOREIGN MATERIAL FROM THE MAINLINES AND MANHOLES. FAILURE TO CLEAN ALL DIRT, ROCK AND DEBRIS FROM PIPELINES PRIOR TO TV INSPECTION WILL RESULT IN THE NEED TO RE-CLEAN AND RE-TV THE SEWER LINES.
- LEAKAGE TESTING: SANITARY SEWER PIPE AND APPURTENANCES SHALL BE TESTED FOR LEAKAGE. LEAKAGE TESTS SHALL INCLUDE AN AIR TEST OF ALL SEWER MAINS AND LATERALS PRIOR TO PAVING, AND A SEPARATE AIR TEST OF ALL SEWER MAINS AND LATERALS FOLLOWING EXCAVATION AND BACKFILLING OF ANY FRANCHISE UTILITY TRENCHES OR OTHER UTILITY WORK THAT CROSSES SANITARY SEWER LATERALS. ALL MANHOLES SHALL BE VACUUM TESTED FOLLOWING COMPLETION OF PAVING OR FINAL SURFACE RESTORATION. ALL TESTING SHALL CONFORM TO REQUIREMENTS AS OUTLINED ON CITY TESTING FORMS CONTAINED IN THE PWDS.
- PRIOR TO OR CONCURRENT WITH CONNECTION TO A SANITARY SEWER LATERAL, IT SHALL BE DEMONSTRATED TO THE CITY THAT THE SEWER LATERAL IS NOT OBSTRUCTED. THIS SHALL BE ACCOMPLISHED BY "SNAKING" THE SERVICE LATERAL DOWNSTREAM OF THE CONNECTION POINT TO THE MAINLINE, OR SIMILAR METHOD ACCEPTABLE TO THE CITY. CITY PERSONNEL OR AUTHORIZED AGENT SHALL BE PRESENT DURING THE "SNAKING" OR OTHER DEMONSTRATION METHOD.

STORM DRAIN

- STORM DRAIN PIPE MATERIALS TO CONFORM TO THE CONSTRUCTION DRAWINGS AND CITY REQUIREMENTS. CONTRACTOR SHALL USE UNIFORM PIPE MATERIAL ON EACH PIPE RUN BETWEEN STRUCTURES UNLESS OTHERWISE DIRECTED OR APPROVED. JOINTED HDPE PIPE SHALL NOT BE USED FOR SLOPES EXCEEDING TEN PERCENT (10%).
- CATCH BASINS AND JUNCTION BOXES SHALL BE SET SQUARE WITH BUILDINGS OR WITH THE EDGE OF THE PARKING LOT OR STREET WHEREIN THEY LIE. STORM DRAIN INLET STRUCTURES AND PAVING SHALL BE ADJUSTED SO WATER FLOWS INTO THE STRUCTURE WITHOUT PONDING WATER. ALL CATCH BASINS WITHIN PUBLIC RIGHT-OF-WAYS SHALL BE CONCRETE.
- UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER, ALL STORM DRAIN CONNECTIONS SHALL BE BY MANUFACTURED TEES OR SADDLES.
- SWEEP STORM DRAIN PIPE INTO CATCH BASINS AND MANHOLES AS REQUIRED.
- UNLESS OTHERWISE SPECIFIED OR DIRECTED, INSTALL STORM DRAIN PIPE IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION GUIDELINES.
- CLEANING: PRIOR TO MANDREL TESTING OR ACCEPTANCE BY THE CITY, FLUSH AND CLEAN ALL STORM DRAINS, AND REMOVE ALL FOREIGN MATERIAL FROM THE MAINLINES, MANHOLES AND CATCH BASINS.
- MANDREL TESTING: CONTRACTOR SHALL CONDUCT DEFLECTION TEST OF FLEXIBLE STORM SEWER PIPES BY PULLING AN APPROVED MANDREL THROUGH THE COMPLETED PIPE LINE FOLLOWING TRENCH COMPACTION. THE DIAMETER OF THE MANDREL SHALL BE 95% OF THE INITIAL PIPE DIAMETER. TEST SHALL BE CONDUCTED NOT MORE THAN 30 DAYS AFTER THE TRENCH BACKFILLING AND COMPACTION HAS BEEN COMPLETED.

STREET LIGHTS

- STREET LIGHTS SHALL BE INSTALLED AFTER ALL OTHER EARTHWORK AND PUBLIC UTILITY INSTALLATIONS ARE COMPLETED AND AFTER ROUGH GRADING OF THE PROPERTY IS ACCOMPLISHED TO PREVENT DAMAGE TO THE POLES.
- STREET LIGHTS POLES (OR FOOTINGS) SHALL BE SET TO A DEPTH AS SPECIFIED BY THE MANUFACTURER OR THE UTILITY COMPANY WITH JURISDICTION.
- STREET LIGHT POLES SHALL BE INSTALLED WITHIN ONE DEGREE (1°) OF PLUMB.

PRIVATE UTILITIES

- UNLESS OTHERWISE SHOWN ON THE DRAWINGS AND APPROVED IN WRITING BY ALL JURISDICTIONS HAVING AUTHORITY, NEW AND RELOCATED PRIVATE UTILITIES (POWER, CABLE TV, TELEPHONE & GAS) SHALL BE INSTALLED UNDERGROUND IN CONJUNCTION WITH THE DEVELOPMENT.
- CONTRACTOR SHALL COORDINATE WITH GAS, POWER, TELEPHONE, AND CABLE TV COMPANY FOR LOCATION OF CONDUITS IN COMMON TRENCHES, AS WELL AS LOCATION OF VAULTS, PEDESTALS, ETC. UNLESS OTHERWISE APPROVED IN WRITING BY THE CITY, ALL ABOVE-GRADE FACILITIES SHALL BE LOCATED IN PUES (WHERE PUES EXIST OR WILL BE GRANTED BY THE DEVELOPMENT), AND OTHERWISE SHALL BE PLACED IN A LOCATION OUTSIDE THE PROPOSED SIDEWALK LOCATION.
- INSTALLATION OF PRIVATE UTILITIES (INCLUDING EITHER FRANCHISE UTILITIES OR PRIVATE WATER, SEWER OR STORM SERVICES) IN A COMMON TRENCH WITH OR WITHIN 3 FEET HORIZONTALLY OF AND PARALLELING PUBLIC WATER, SANITARY SEWER OR STORM DRAINS IS PROHIBITED.
- POWER, TELEPHONE, AND TV TRENCHING AND CONDUITS SHALL BE INSTALLED PER UTILITY COMPANY REQUIREMENTS WITH PULL WIRE. CONTRACTOR SHALL VERIFY WITH UTILITY COMPANY FOR SIZE, LOCATION AND TYPE OF CONDUIT PRIOR TO CONSTRUCTION, AND SHALL ENSURE THAT TRENCHES ARE ADEQUATELY PREPARED FOR INSTALLATION PER UTILITY COMPANY REQUIREMENTS. ALL CHANGES IN DIRECTION OF UTILITY CONDUIT RUNS SHALL HAVE LONG RADIUS STEEL BENDS.
- CONTRACTOR SHALL NOTIFY AND COORDINATE WITH PRIVATE UTILITIES FOR RELOCATION OF POWER POLES, VAULTS, ETC TO AVOID CONFLICT WITH CITY UTILITY STRUCTURES, FIRE HYDRANTS, METERS, SEWER OR STORM LATERALS, ETC.

TESTING AND INSPECTION:

- THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT ALL REQUIRED OR NECESSARY INSPECTIONS ARE COMPLETED BY AUTHORIZED INSPECTORS PRIOR TO PROCEEDING WITH SUBSEQUENT WORK WHICH COVERS OR THAT IS DEPENDENT ON THE WORK TO BE INSPECTED. FAILURE TO OBTAIN NECESSARY INSPECTION(S) AND APPROVAL(S) SHALL RESULT IN THE CONTRACTOR BEING FULLY RESPONSIBLE FOR ALL PROBLEMS AND/OR CORRECTIVE MEASURES ARISING FROM UNINSPECTED WORK.
- UNLESS OTHERWISE SPECIFIED, THE ATTACHED "MINIMUM REQUIRED TESTING AND FREQUENCY" TABLE OUTLINES THE MINIMUM TESTING SCHEDULE FOR THE PROJECT. THIS TESTING SCHEDULE IS NOT COMPLETE, AND DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF OBTAINING ALL NECESSARY INSPECTIONS OR OBSERVATIONS FOR ALL WORK PERFORMED, REGARDLESS OF WHO IS RESPONSIBLE FOR PAYMENT. COST FOR RETESTING SHALL BE BORNE BY THE CONTRACTOR.

MINIMUM REQUIRED TESTING AND FREQUENCY TABLE (see note 1)		
		Notes
Streets, Parking Lots, Pads, Fills, etc.		
Subgrade	1 Test/4000 S.F./Lift (4 min)	See note 2 & note 3
Engineered Fills	1 Test/4000 S.F./Lift (4 min)	See note 2 & note 5
Baserock	1 Test/4000 S.F./Lift (4 min)	See note 2 & note 3
Asphalt	1 Test/6000 S.F./Lift (4 min)	See note 2
Piped Utilities, All		
Trench Backfill	1 Test/200 Foot Trench/Lift (4 min)	See note 2
Trench AC Restoration	1 Test/300 Foot Trench (4 min)	See note 2
Water		
Pressure Test (to be witnessed by City representative)		See note 4
Bacterial Water Test	Per Oregon Health Division	See note 2
Chlorine Residual Test	Per City Requirements	
Sanitary Sewer		
Air Test	Per City Requirements (see PWDS form)	See note 4
Mandrel	95% of actual inside diameter	See note 4
TV Inspection	All. Lines must be cleaned prior to TV work	
Manhole	(1) Vacuum test per manhole, witnessed by City representative.	See note 4
Pressure Test (force main)	Hydrostatic pressure test, witnessed by City representative.	See note 4
Storm		
Mandrel	95% of actual inside diameter	See note 4
TV Inspection	All. Lines must be cleaned prior to TV work	
Concrete, Block, etc.		
Slump, Air & Cylinders for all structures, reinforce concrete & PCC pavements. Unless otherwise specified, one set of cylinders per 100 cubic yards (or portion thereof) of concrete poured per day. Slump & air tests required on same load as cylinders.		See note 2
Building permit inspection & Special inspection for structural concrete, reinforced masonry, epoxy anchors, etc. as required by current building codes.		See note 6
Retaining Walls		
Building permit inspection and Special Inspection, as well as compaction testing on backfill, all in conformance with all building code requirements		See note 5 & note 6
<p>Note 1: The City considers the Contractor as responsible for scheduling any and all required testing. All testing must be completed prior to performing subsequent work. Additional or more frequent tests may be required by Building Official.</p> <p>Note 2: Testing must be performed by an approved independent testing laboratory.</p> <p>Note 3: In addition to in-place density testing, the subgrade and base rock shall be proof-rolled with a loaded 10 yard dump truck provided by the Contractor. Baserock proofroll shall take place immediately prior to (within 24 hours of) paving, and shall be witnessed by the an authorized Representative of approving agency. Location and pattern of proofroll to be as directed by said authorized Representative of approving agency.</p> <p>Note 4: To be witnessed by City representative. The Contractor shall perform pretests prior to scheduling witnessed wateline or sanitary sewer pressure tests, or pipeline mandrel test.</p> <p>Note 5: The approved independent laboratory retained by the Contractor shall provide a certification (stamped by an engineer licensed in the State of Oregon) that the subgrade was prepared and all engineered fills were placed in accordance with the provisions of the construction drawings and the contract documents.</p> <p>Note 6: Regardless of who is responsible for payment, the Contractor is responsible for scheduling and coordinating any and all required inspections and Special Inspections as required by applicable building codes or jurisdictions having authority.</p>		



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GENERAL CIVIL NOTES

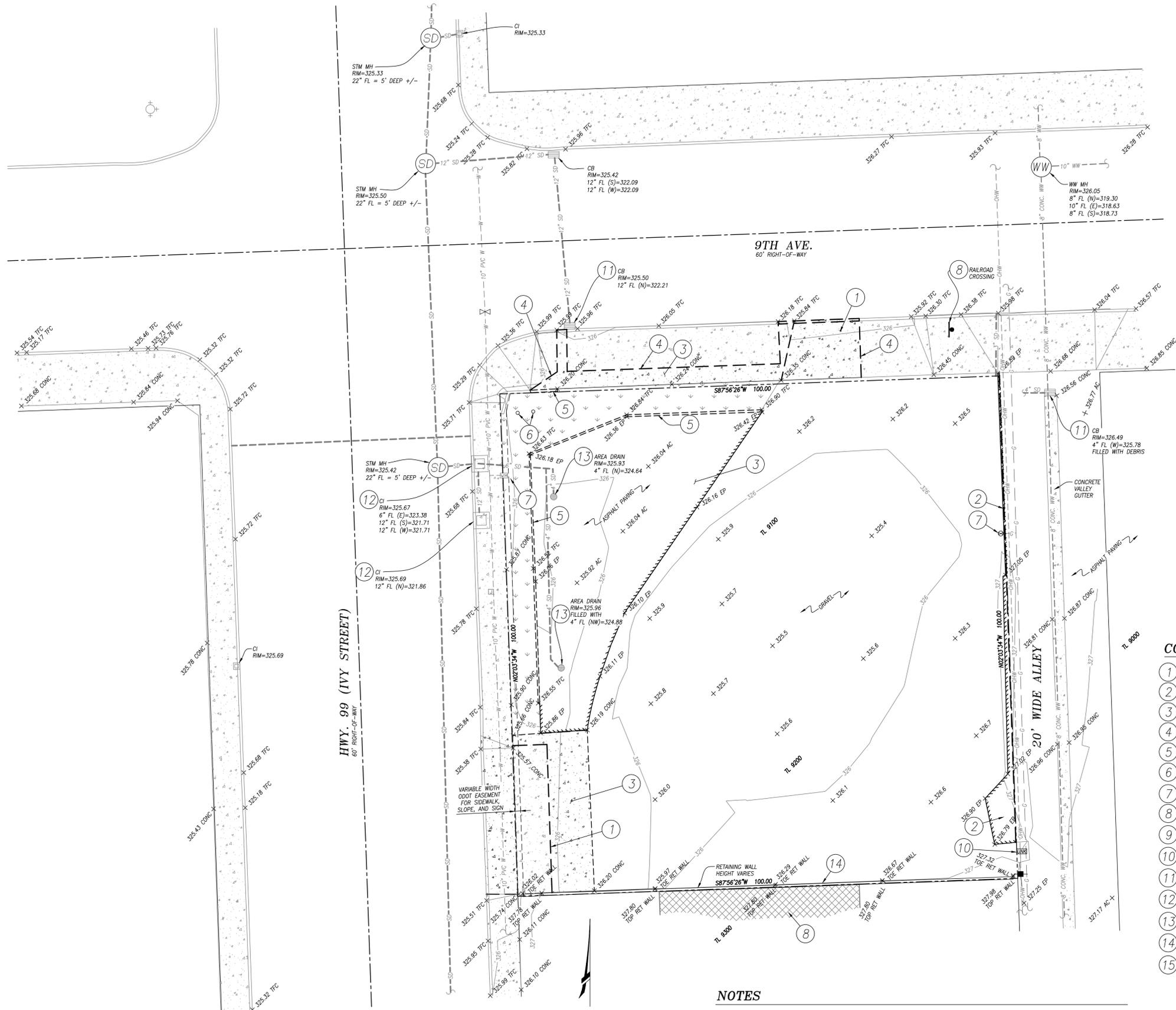
PROJECT #	14-026-1
DRAWN	JLB
CHECKED	DG
DATE	05.09.2016

SHEET

C1

Drawing notes: C:\Users\j\OneDrive\Documents\Projects\14-026 CIVIL PLANS.dwg
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TAX MAP: 15-04-32-31 TAX LOT: 9100



LEGEND

- PROPERTY LINE (APPROXIMATE - SEE SURVEY)
- ==== CURB
- ==== CURB TO BE DEMOLISHED
- EDGE OF EXISTING ASPHALT
- ASPHALT TO BE REMOVED
- EASEMENT LINE
- SAW CUT LINE
- CONTOUR LINE
- EXISTING WATER LINE
- OVER HEAD WIRES
- EXISTING WASTE WATER LINE
- EXISTING STORM DRAIN LINE
- EXISTING GAS LINE
- EXISTING CONCRETE
- CONCRETE REMOVAL
- EXISTING GRASS AREA
- EXISTING BUILDING
- EXISTING GAS VALVE
- EXISTING SIGN
- EXISTING 8" DIA. POLE
- EXISTING CURB INLET
- EXISTING CATCH BASIN
- EXISTING AREA DRAIN
- EXISTING STORM DRAIN MANHOLE
- EXISTING WASTE WATER MANHOLE
- EXISTING FIRE HYDRANT NOT SURVEYED
- EXISTING WATER VALVE
- EXISTING WATER METER
- EXISTING UNKNOWN VAULT
- EXISTING JUNCTION BOX
- EXISTING POWER POLE

ALL DISTANCES SHOWN ARE IN FEET.
CONTOUR INTERVAL = 1 FOOT

NOTES

- THIS DOES NOT CONSTITUTE A BOUNDARY SURVEY AND IS SUBJECT TO ANY INACCURACIES A SUBSEQUENT SURVEY MAY DISCLOSE.
- LOCATIONS OF UNDERGROUND UTILITIES SHOWN ARE BASED ON A COMBINATION OF VISIBLE FACILITIES LOCATED ABOVE GROUND, AND UTILITY LOCATE MARKS. NO CERTIFICATION IS MADE TO ACTUAL LOCATION OF UNDERGROUND UTILITIES.

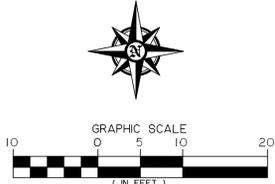
DATUMS (GPS DERIVED)

HORIZONTAL - OREGON COORDINATE REFERENCE SYSTEM - EUGENE PROJECTION
VERTICAL - NAVD 88 (GEOID 12A)

- CONSTRUCTION NOTES:**
- SAWCUT AND REMOVE EXISTING DRIVEWAY TO CUT LINE.
 - SAWCUT AND REMOVE EXISTING PAVEMENT TO CUTLINE.
 - REMOVE EXISTING PAVEMENT / CONCRETE SURFACE.
 - SAWCUT AND REMOVE EXISTING CONCRETE TO CUTLINE.
 - REMOVE CURB AND LANDSCAPE ISLAND.
 - PROTECT EXISTING POLE.
 - PROTECT EXISTING UTILITY VALVE OR METER. COORDINATE NECESSARY ADJUSTMENTS WITH UTILITY PROVIDER.
 - PROTECT EXISTING STRUCTURE.
 - PROTECT EXISTING SIGN.
 - PROTECT EXISTING UTILITY VAULT
 - INSTALL INLET PROTECTION ON EXISTING CATCH BASIN.
 - INSTALL INLET PROTECTION ON EXISTING CURB INLET.
 - REMOVE EXISTING AREA DRAIN.
 - PROTECT EXISTING RETAINING WALL.
 - PLUG / ABNDON, OR REMOVE EXISTING DRAINAGE PIPE AS DIRECTED BY INSPECTOR.

NOTES

- CONTRACTOR SHALL VERIFY WATER AND WASTEWATER CONNECTION LOCATIONS TO BUILDINGS PRIOR TO CONSTRUCTION.
- THIS DOES NOT CONSTITUTE A BOUNDARY SURVEY AND IS SUBJECT TO ANY INACCURACIES A SUBSEQUENT SURVEY MAY DISCLOSE.
- LOCATIONS OF UNDERGROUND UTILITIES SHOWN ARE BASED ON VISIBLE FACILITIES LOCATED ABOVE GROUND, AND MARKINGS FROM UTILITY LOCATE. NO CERTIFICATION IS MADE TO ACTUAL LOCATION OF UNDERGROUND UTILITIES.
- ELEVATIONS SHOWN ON THE DRAWINGS ARE BASED ON NATIONAL GEODETIC SURVEY BENCHMARK "R 7281", STAMPED: "R 728 1987". THE BENCHMARK IS NOTED AS "LCBM #165" IN THE FILES OF THE LANE COUNTY SURVEY DEPARTMENT. THE BENCHMARK IS A STAINLESS STEEL ROD INSIDE A MONUMENT CASE; SAID BENCHMARK IS LOCATED AT THE INTERSECTION OF 12TH AVENUE AND HOLLY STREET (NORTH SIDE OF 12TH AVENUE). PUBLISHED ELEVATION - (NAVD 88 DATUM = 324.75) CONVERTED TO NGVD 1929 DATUM = 321.26. THE "AS BUILT" DOCUMENTS SUPPLIED FOR THIS PROJECT BY THE JUNCTION CITY PUBLIC WORKS DEPARTMENT ARE BASED ON THE NGVD 1929 DATUM, CORRESPONDING TO THE FEMA FLOOD MAP ELEVATIONS.



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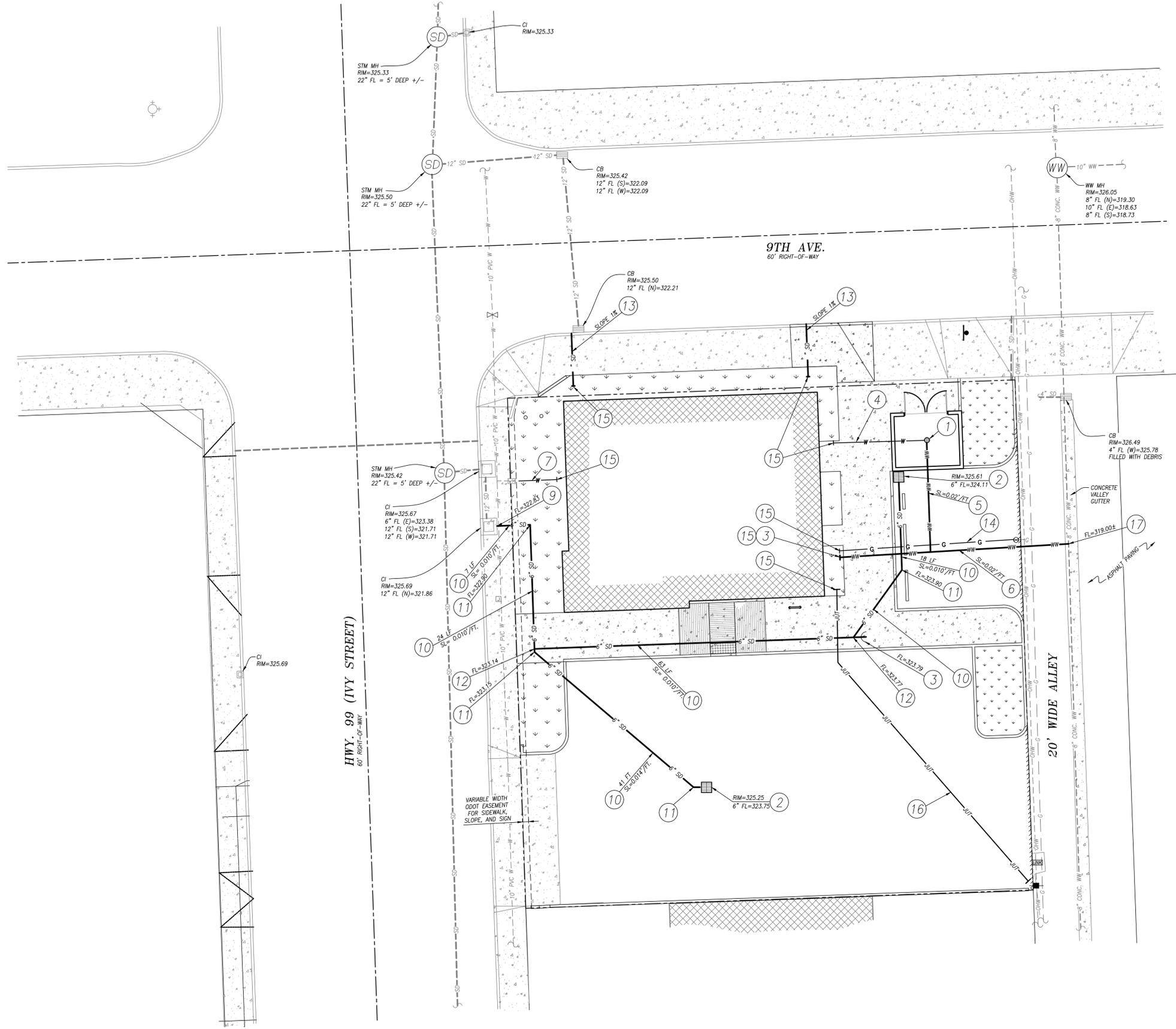
**EXISTING
CONDITIONS
& DEMOLITION
PLAN**

PROJECT # 14-026-1
DRAWN JLB
CHECKED DAN
DATE 05.09.2016

SHEET
C2

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TAX MAP: 15-04-32-31 TAX LOT: 9100



CONSTRUCTION NOTES:

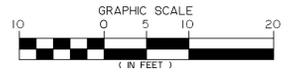
- 1 FURNISH AND INSTALL FLOOR DRAIN (MODEL JR SMITH 2310 FLOOR DRAIN WITH 3" OUTLET). SEE DETAIL 2, SHEET C5. FURNISH AND INSTALL 1/2" PEX COLD WATER P-TRAP PRIMER PIPE. VENT PER PLUMBING CODE.
- 2 FURNISH AND INSTALL 24"x24" SINGLE CHAMBER CATCH BASIN PER DETAIL 6, SHEET C5.
- 3 CONSTRUCT CLEANOUT PER JUNCTION CITY STANDARD DRAWING 411 & 416.
- 4 INSTALL 1/2" PRIMER LINE. COORDINATE WITH PLUMBER FOR LOCATION OF PRIMER CONNECTION IN BUILDING.
- 5 3" SANITARY PIPE SHALL CONNECT TO SANITARY LATERAL LINE WITH TRACER WIRE.
- 6 4" SANITARY PIPE SHALL CONNECT TO SANITARY MAIN LINE WITH TRACER WIRE PER JUNCTION CITY STANDARD DRAWING, COORDINATE WITH JUNCTION CITY PUBLIC WORKS AND PLUMBING INSPECTOR.
- 7 CONSTRUCT WATER SERVICE METER AND CONNECT TO BUILDING PER JUNCTION CITY STANDARD DRAWING 516, SEE PLUMBING PLAN FOR SIZES.
- 8 POT-HOLE EXISTING UTILITIES PRIOR TO ORDERING OR INSTALLING ON SITE STORM SYSTEM. REPORT TO ENGINEER ANY CONFLICTS.
- 9 CONNECT TO EXISTING CURB INLET. VERIFY WATERLINE CONFLICT ELEVATION PRIOR TO CONSTRUCTION.
- 10 CONSTRUCT 6" ASTM D3034 STORM PIPE AT SLOPE INDICATED. SEE DETAIL 1, SHEET C5.
- 11 CONSTRUCT 6" COMPATIBLE FITTING (45/90) OR "TEE" AS SHOWN.
- 12 CONSTRUCT COMPATIBLE "TEE" OR "WYE" AS SHOWN.
- 13 CONSTRUCT 3" STORM PIPE TO WEEPHOLE IN CURB. SEE STANDARD DRAWING 210. SEE BUILDING PLANS FOR CONNECTION TO ROOF DRAIN DOWNSPOUTS.
- 14 CONSTRUCT & CONNECT GAS LINE PER DETAIL 1, SHEET 5 TO EXISTING GAS VALVE. COORDINATE WITH GAS COMPANY.
- 15 SEE BUILDING / PLUMBING / MECHANICAL FOR CONTINUATION.
- 16 CONSTRUCT JOINT UTILITY TRENCH WITH POWER AND COMMUNICATIONS LINE. SEE ELECTRICAL PLANS. COORDINATE CONNECTIONS WITH RESPECTIVE UTILITY PROVIDERS.
- 17 CONNECT TO EXISTING WASTEWATER MAIN. COORDINATE ENCROACHMENT PERMIT AND INSPECTIONS WITH JUNCTION CITY PUBLIC WORKS. SEE JUNCTION CITY DRAWING 415.

STORMWATER NOTE:

SITE AREA = 10,000 SF
 PREVIOUSLY SITE WAS DEVELOPED WITH PARKING LOTS, 2-DRIVE-THROUGH LANES, AND BUILDING CONNECTED TO 6-INCH STORM DRAIN CONNECTED TO HIGHWAY 99 STORM SYSTEM.
 PREVIOUS DEVELOPMENT WAS ASSUMED TO BE GREATER THAN 90-PERCENT IMPERVIOUS BASED ON AERIAL PHOTO RECORDS.
 AS PROPOSED, ROUGHLY 7,000 SQUARE FEET OF IMPERVIOUS AREA WILL BE CONNECTED TO THE HIGHWAY 99 STORM SYSTEM. ROUGHLY 2000 SQUARE FEET OF ROOF AREA WILL BE CONNECTED TO 8TH STREET VIA CURB WEEP HOLES, AND ROUGHLY 1000 SQUARE FEET OF COMPACTED GRAVEL/ASPHALT WILL BE CONVERTED TO PERVIOUS LANDSCAPE AREA.
 THE PROPOSED REDEVELOPMENT WILL RESULT IN A NET DECREASE IN STORMWATER RUNOFF DRAINING TO HIGHWAY 99 FROM PREVIOUS CONDITIONS.

LEGEND

---	EXISTING WATER LINE
-W-	PROPOSED WATER LINE
-OHW-	OVER HEAD WIRES
-WW-	EXISTING WASTE WATER LINE
-WWW-	PROPOSED WASTE WATER LINE
-SD-	EXISTING STORM DRAIN LINE
-G-	EXISTING GAS LINE
-G-	PROPOSED GAS LINE
-C-	PROPOSED CLEANOUT



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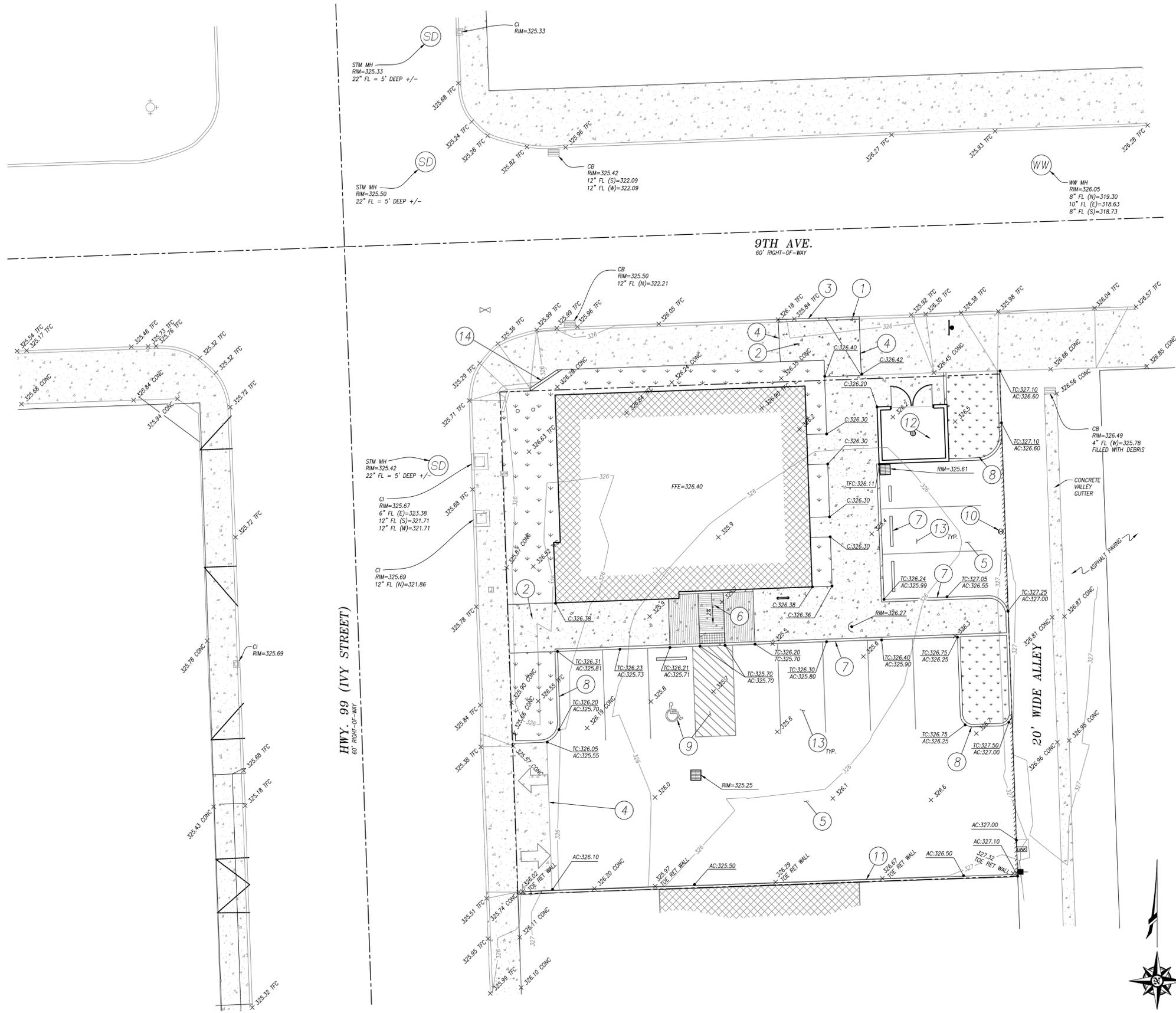
STORMWATER & UTILITY PLAN

PROJECT # 14-026:1
 DRAWN JLB
 CHECKED DG
 DATE 05.09.2016

SHEET
C3
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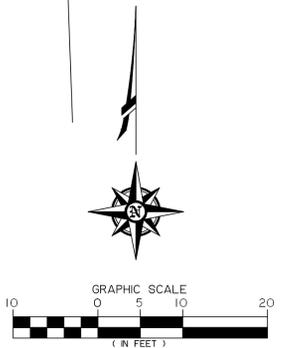
TAX MAP: 15-04-32-31 TAX LOT: 9100



- CONSTRUCTION NOTES:**
- 1 CONSTRUCT OPTION K, "DRIVEWAY IN WIDE SIDEWALK" PER JUNCTION CITY STANDARD DRAWING 212.
 - 2 CONSTRUCT SIDEWALK PER JUNCTION CITY STANDARD DRAWING.
 - 3 CONSTRUCT CURB AND GUTTER PER JUNCTION CITY STANDARD DRAWING 210 & 212.
 - 4 MATCH EXISTING SIDEWALK OR PAVEMENT.
 - 5 CONSTRUCT PAVEMENT SECTION PER DETAIL 3, SHEET C5.
 - 6 CONSTRUCT ADA RAMP PER DETAIL 5, SHEET C5.
 - 7 CONSTRUCT MONOLITHIC CURB & SIDEWALK. PER DETAIL 8, SHEET C5.
 - 8 CONSTRUCT TOP-SET CURB PER DETAIL 9, SHEET C5.
 - 9 CONSTRUCT ADA PARKING SPACE WITH SIGNING AND STENCIL PER SITE PLAN AND DETAILS. (MAXIMUM SLOPE = 2% IN ANY DIRECTION) SEE DETAIL 11, SHEET C5.
 - 10 PROTECT GAS VALVE AND ADJUST HEIGHT TO MATCH PAVEMENT. COORDINATE WITH UTILITY COMPANY.
 - 11 PROTECT EXISTING RETAINING WALL.
 - 12 SEE ARCHITECTURAL PLANS FOR TRASH ENCLOSURE.
 - 13 STRIPE (PAINT) PARKING STALL PER DETAIL 7, SHEET C5
 - 14 CONSTRUCT VERTICAL CURB PER DETAIL 12, SHEET C5.

LEGEND

- PROPERTY LINE (APPROXIMATE - SEE SURVEY)
 - CURB
 - PROPOSED CURB
 - EDGE OF EXISTING ASPHALT
 - PROPOSED ASPHALT
 - 459 --- CONTOUR LINE
 - EXISTING CONCRETE
 - PROPOSED CONCRETE
 - EXISTING GRASS AREA
 - PROPOSED GRASS AREA
 - EXISTING BUILDING
 - PROPOSED BUILDING
 - EXISTING GAS VALVE
 - EXISTING SIGN
 - OR --- EXISTING 8" DIA. POLE
 - EXISTING CURB INLET
 - EXISTING CATCH BASIN
 - EXISTING AREA DRAIN
 - PROPOSED AREA DRAIN
 - SD --- EXISTING STORM DRAIN MANHOLE
 - WW --- EXISTING WASTE WATER MANHOLE
 - EXISTING FIRE HYDRANT NOT SURVEYED
 - EXISTING WATER VALVE
 - EXISTING WATER METER
 - EXISTING UNKNOWN VAULT
 - EXISTING JUNCTION BOX
 - EXISTING POWER POLE
 - PROPOSED CLEANOUT
 - TC --- PROPOSED FINISH GRADE TOP FACE OF CURB
 - C --- PROPOSED FINISH GRADE CONCRETE
 - AC --- PROPOSED FINISH GRADE ASPHALTIC CONCRETE
 - RIM --- PROPOSED FINISH GRADE RIM OR CATCH BASIN OR CLEANOUT
 - EXISTING SURFACE ELEVATION
- ALL DISTANCES SHOWN ARE IN FEET.
CONTOUR INTERVAL = 1 FOOT



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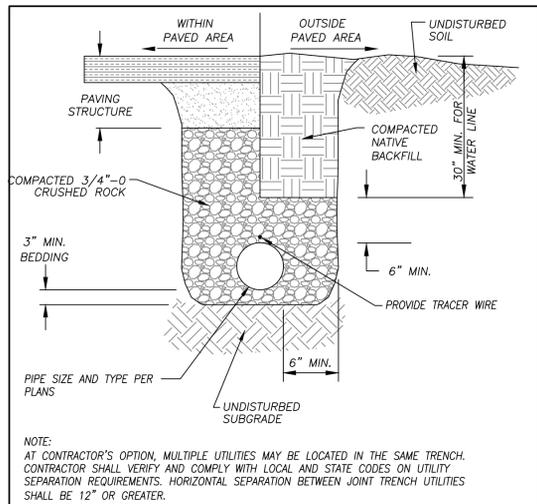
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PAVING & GRADING PLAN

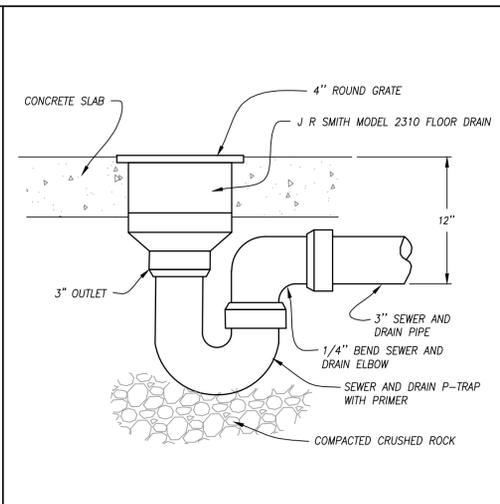
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SHEET **C4**

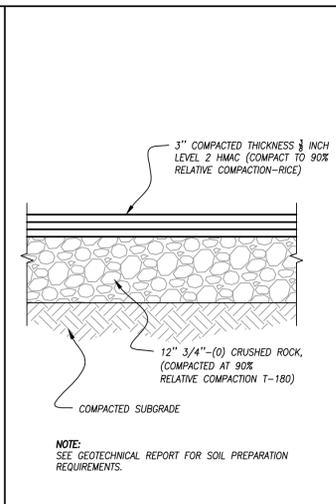
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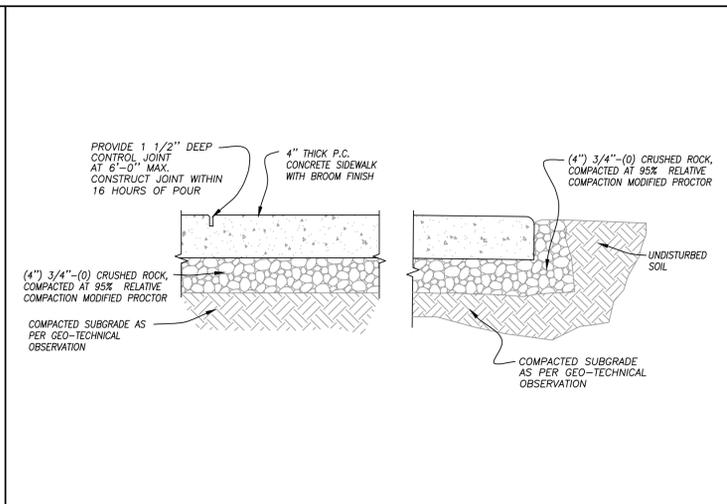
1 TRENCH DRAIN
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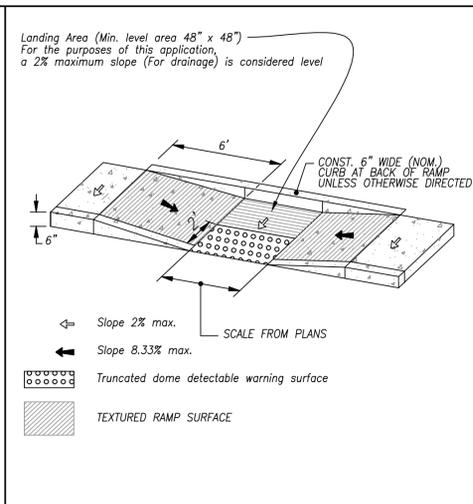
2 ROUND SANITARY AREA DRAIN DETAIL
SCALE: N.T.S.



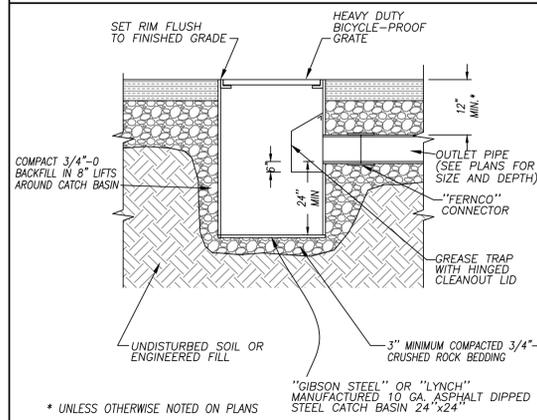
3 AC PAVING SECTION
SCALE: N.T.S.



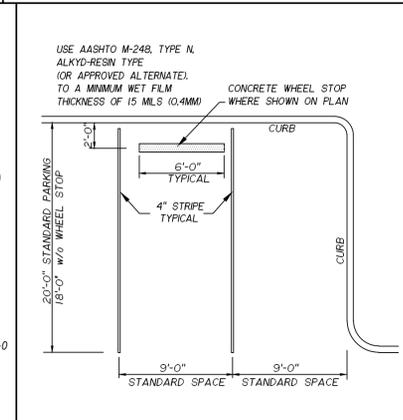
4 SIDEWALK SECTION
SCALE: N.T.S.



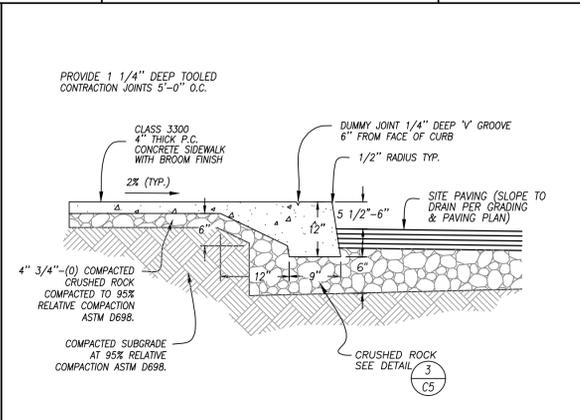
5 PARALLEL SIDEWALK RAMP
SCALE: N.T.S.



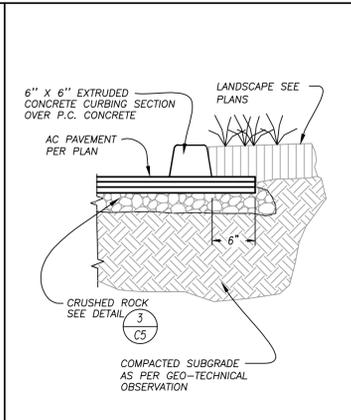
6 SINGLE CHAMBER CATCH BASIN
SCALE: N.T.S.



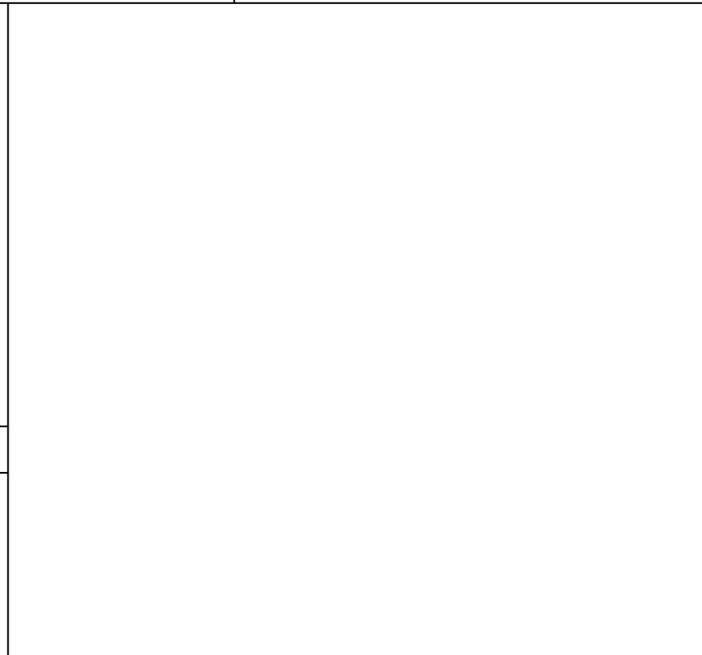
7 PARKING SPACE DETAIL
SCALE: N.T.S.



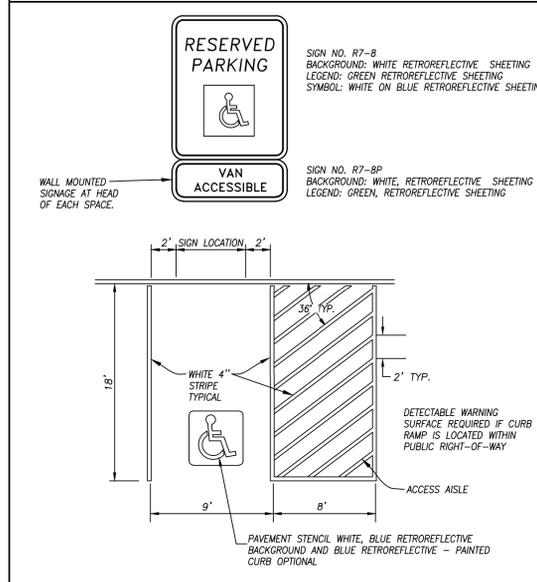
8 CONCRETE WALK & MONOLITHIC CURB
SCALE: N.T.S.



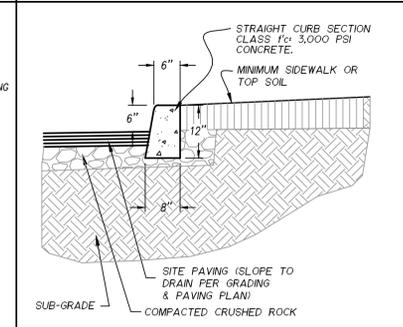
9 TOP SET CURB DETAIL
SCALE: N.T.S.



10 NOT USED
SCALE: N.T.S.



11 DISABLED PARKING SPACE DETAIL
SCALE: N.T.S.



12 VERTICAL CURB DETAIL
SCALE: N.T.S.

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REGISTERED PROFESSIONAL
ENGINEER
#62780PE
Digitally signed by Damien Gilbert
Date: 2016.05.05 13:42:15 -0700
OREGON
DAMIEN GILBERT
EXPIRES: JUNE 30, 2017

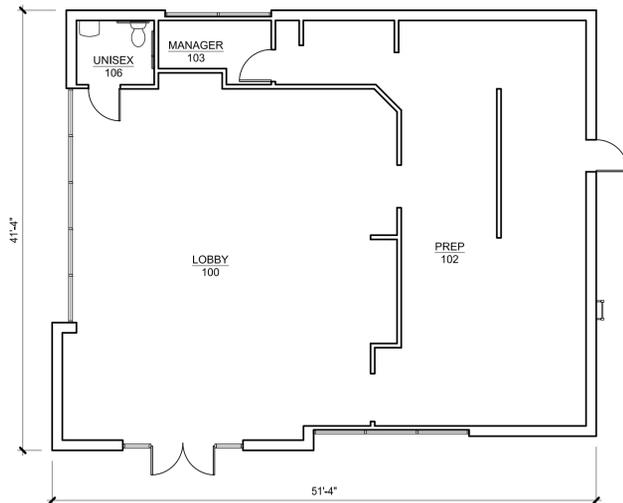
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S & G INVESTMENTS, INC.**
890 IVY STREET
JUNCTION CITY, OREGON 97448

DETAIL SHEET

PROJECT # 14-026-1
DRAWN JLB
CHECKED DG
DATE 05.09.2016

SHEET
C5

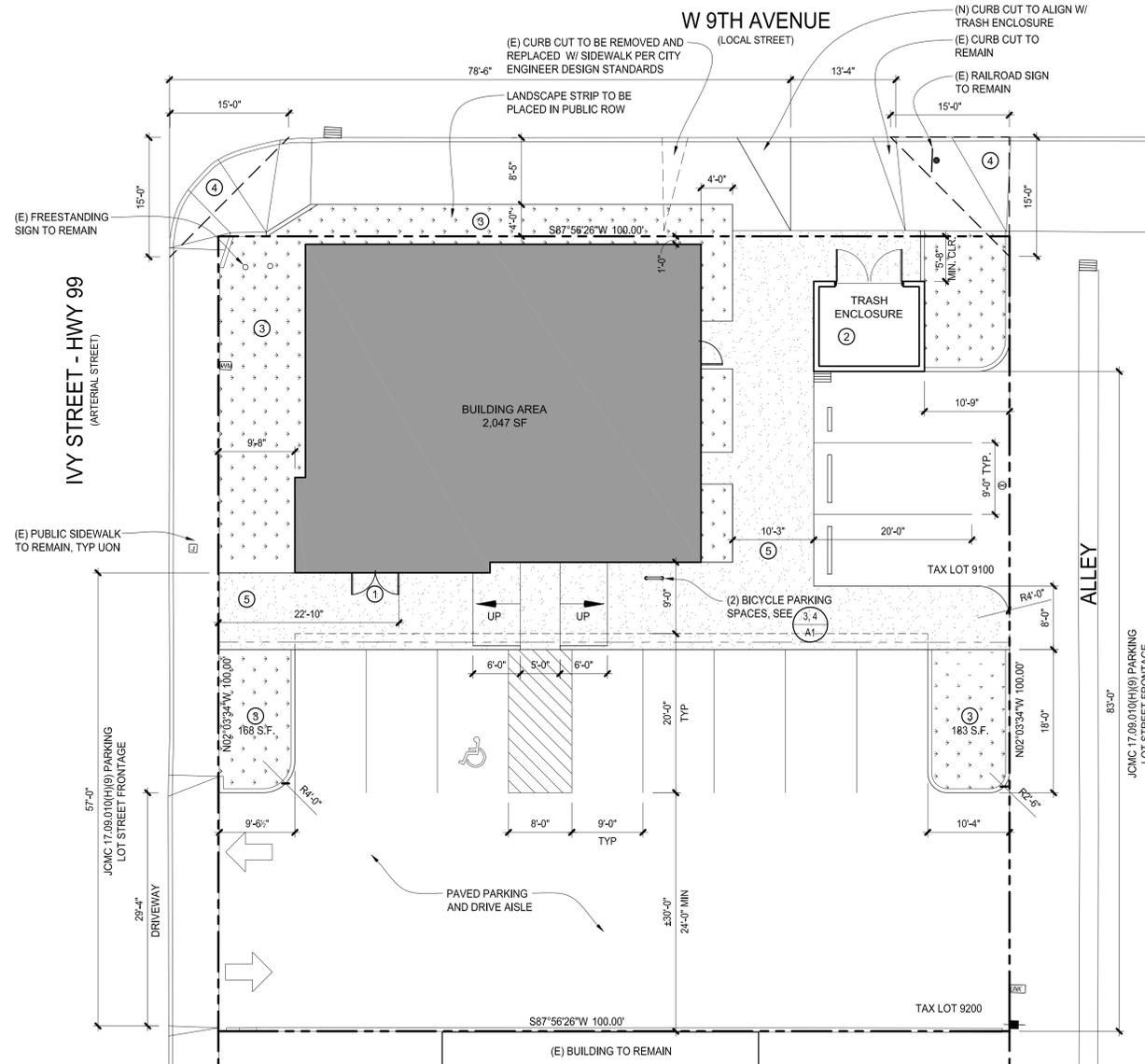


2 CONCEPTUAL FLOOR PLAN

A1 1/8" = 1'-0"

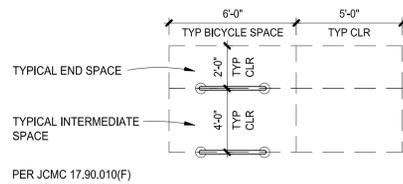
GENERAL FLOOR PLAN NOTES

1. ARCHITECTURAL FLOOR PLANS ARE PRESENTED CONCEPTUALLY FOR REFERENCE ONLY AND ARE SUBJECT TO CHANGES AT THE TIME OF BUILDING PERMIT SUBMITTAL. ALL CHANGES WILL MEET RELEVANT CODE STANDARDS. ACCURATE FLOOR PLAN DETAILS WILL BE INCLUDED AT THE TIME OF BUILDING PERMIT SUBMITTAL.



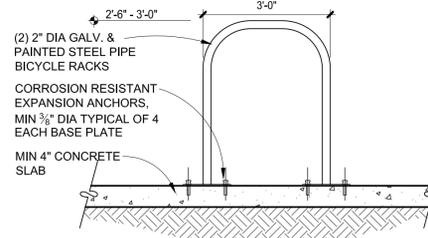
1 SITE PLAN

A1 1" = 10'-0"



3 TYP. BICYCLE HOOP - PLAN

A1 1/4" = 1'-0"



PER JCMC 17.90.010(F), 7'-0" MINIMUM OF VERTICAL CLEARANCE.

4 TYP. BICYCLE HOOP

A1 3/4" = 1'-0"

GENERAL NOTES

1. IN COMPLIANCE WITH JCMC 17.35.120, ALL NEW ON-SITE UTILITIES WILL BE PLACED UNDERGROUND.
2. ALL WORK PERFORMED WITHIN THE PUBLIC RIGHT OF WAY, AND ALL PROPOSED PUBLIC IMPROVEMENTS, SHALL CONFORM TO THE 2008 OREGON STANDARD SPECIFICATIONS FOR CONSTRUCTION, OR LATEST EDITION AS ADOPTED AND AMENDED BY THE LOCAL AGENCY. REFERENCE CIVIL DRAWINGS FOR DETAILS.
3. OUTDOOR SITE AND BUILDING LIGHTING LOCATIONS AND SPECIFICATIONS WILL BE SUBMITTED AT THE TIME OF THE BUILDING PERMIT APPLICATION. PROPOSED OUTDOOR LIGHTING WILL COMPLY WITH CITY STANDARDS AT THE TIME OF BUILDING PERMIT SUBMITTAL AND BUILDING OCCUPANCY.
4. REFERENCE LANDSCAPE PLAN FOR LANDSCAPE PLANTING DETAILS. LANDSCAPE PLANTING PLAN WILL COMPLY WITH CITY STANDARDS AT THE TIME OF BUILDING PERMIT SUBMITTAL AND BUILDING OCCUPANCY.
5. ALL REQUIRED LANDSCAPING WILL HAVE IRRIGATION FACILITIES AND PROTECTIVE CURBS. PROPOSED LANDSCAPE IRRIGATION WILL COMPLY WITH CITY STANDARDS AT THE TIME OF BUILDING PERMIT SUBMITTAL AND BUILDING OCCUPANCY.
6. SIGNAGE LOCATIONS, SIZE, AND DETAILS WILL BE SUBMITTED AT THE TIME OF SIGN PERMIT APPLICATION, CONSISTENT WITH ALL APPLICABLE STANDARDS.
7. ARCHITECTURAL DIMENSIONS, DETAILS, FINISHES, AND WINDOW CONFIGURATION ARE PRESENTED SCHEMATICALLY FOR REFERENCE ONLY AND ARE SUBJECT TO CHANGES AT THE TIME OF BUILDING PERMIT SUBMITTAL. ALL CHANGES WILL MEET RELEVANT CODE STANDARDS. ACCURATE BUILDING DETAILS WILL BE INCLUDED AT THE TIME OF BUILDING PERMIT SUBMITTAL.

PARKING CALCULATIONS

VEHICLE PARKING CALCULATIONS - JCMC 17.90.010(E)	
TOTAL VEHICLE PARKING SPACES REQUIRED	11 SPACES
COMMERCIAL RETAIL USE	
1,350 SF FLOOR AREA	
2,047 SF/350 SF	
NEW VEHICLE PARKING SPACES PROVIDED	10 SPACES
STANDARD 90 DEGREE SPACES (9'-0" X 18'-0" W/ 2' BUMPER OVERHANG, TYP)	
ACCESSIBLE SPACES (9'-0" X 18'-0" W/ 2' BUMPER OVERHANG, TYP)	1 SPACE
TOTAL VEHICLE PARKING SPACES PROVIDED	11 SPACES
BICYCLE PARKING CALCULATIONS - JCMC 17.90.010(F)	
TOTAL BICYCLE PARKING SPACES REQUIRED	2 SPACES
COMMERCIAL PARKING LOT	
1:10 MOTOR VEHICLE PARKING SPACES	
11 VEHICLE PARKING SPACES PROVIDED/10 (ROUND UP)	
TOTAL BICYCLE PARKING SPACES PROVIDED	2 SPACES

LEGEND

- PROPERTY LINE, TYP
- NEW BUILDING
- ▨ NEW LANDSCAPE AREA, SEE PLANTING PLAN
- ▤ NEW CONCRETE WALKWAY
- ▩ ADA PARKING WITH ASSOCIATED STRIPED LOADING ZONE, PAINTED PARKING SYMBOL & ACCESSIBLE PARKING SIGN

LAND USE CODE NOTES

LAND USE CODE NOTES ARE FROM ORDINANCE NO. 950, UON.

1. JCMC 17.35.090(A) CUSTOMER ENTRANCE WITHIN 50'-0" OF PUBLIC SIDEWALK.
2. JCMC 17.35.110 6' MIN HEIGHT SOLID MASONRY WALL SCREENING ON ALL SIDES OF TRASH RECEPTACLES.
3. JCMC 17.90.010(H)(9) 2' MIN LANDSCAPE AREA FOR EACH LINEAR FOOT OF DRIVE AND/OR PARKING LOT STREET FRONTAGE AND A CANOPY TREE FOR EACH 30'-0" OF STREET FRONTAGE. REFERENCE LANDSCAPE PLANTING PLAN FOR DETAILS.
4. JCMC 17.95.090 2' TO 8' VERTICAL CLR VISION CLEARANCE AREA.
5. JCMC 17.90.010(H)(12) PEDESTRIAN ACCESS & CIRCULATION



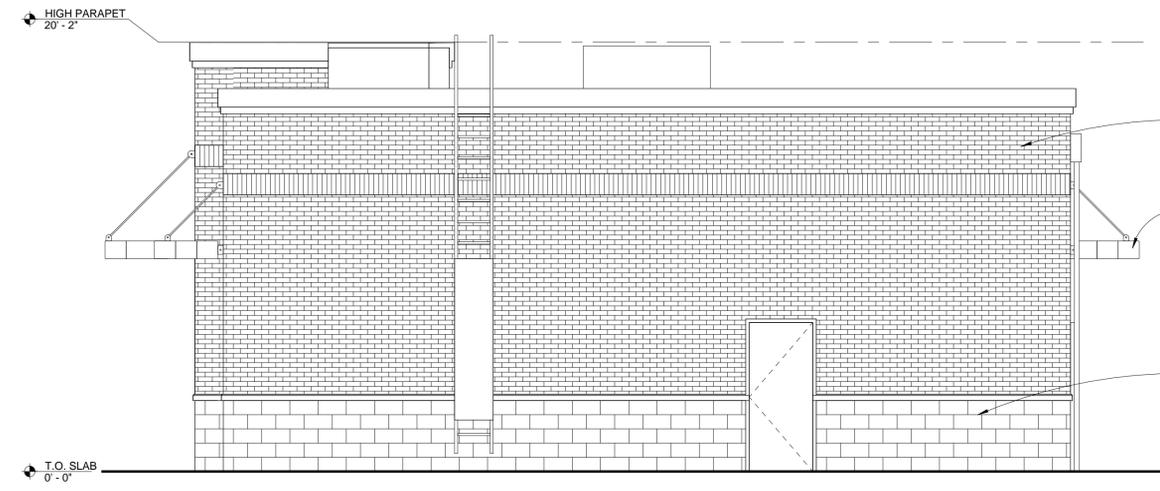
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SITE PLAN & CONCEPTUAL FLOOR PLAN

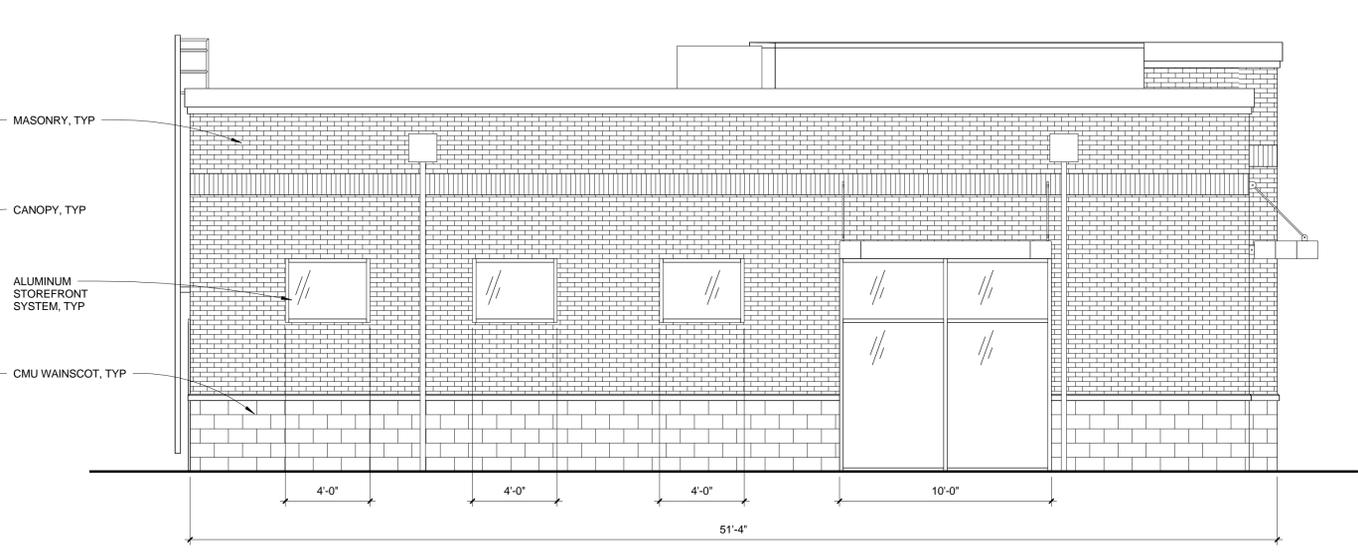
PROJECT # 201401
 DRAWN JG/KT
 CHECKED JL
 DATE 05.09.2016

SHEET

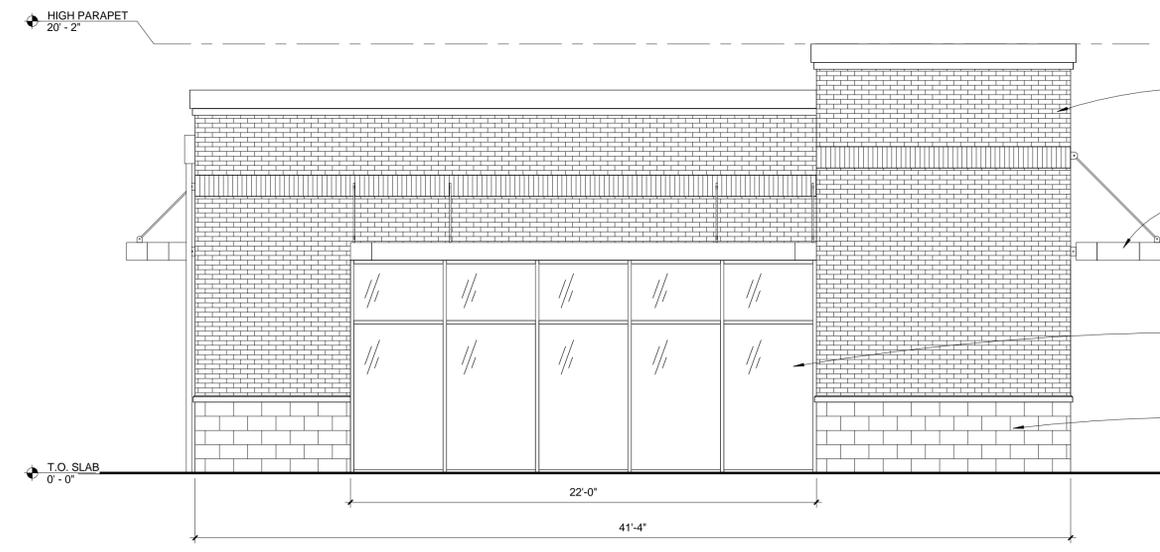
A1



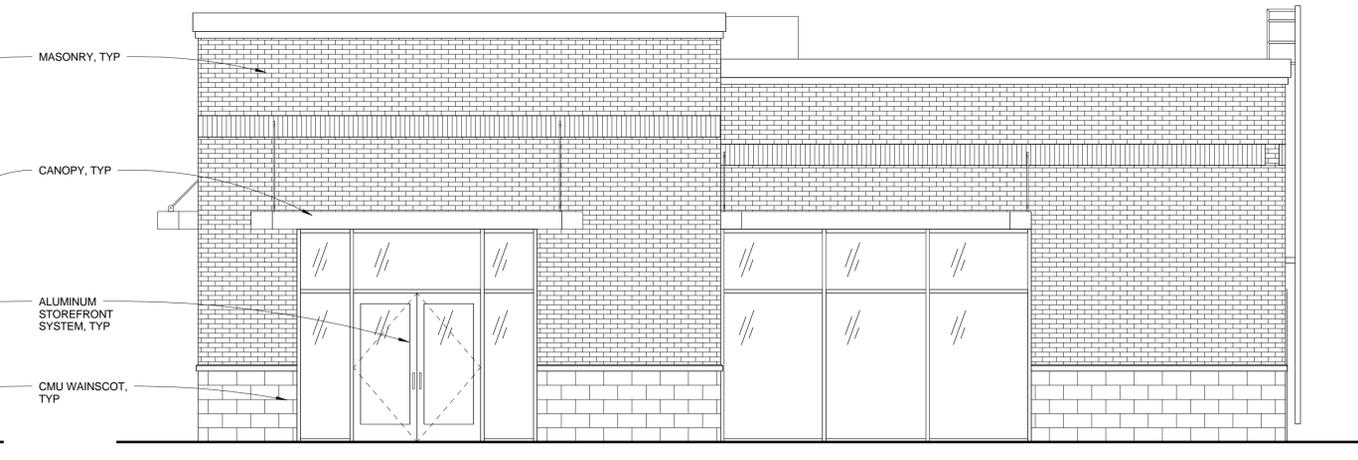
1 EAST ELEVATION
 A2 1/4" = 1'-0"



2 NORTH ELEVATION
 A2 1/4" = 1'-0"



3 WEST ELEVATION
 A2 1/4" = 1'-0"



4 SOUTH ELEVATION
 A2 1/4" = 1'-0"

LAND USE CODE NOTES

JCMC 17.35.090(B) BUILDING FORM WINDOW AREA

IVY STREET WEST ELEVATION
 WINDOWS REQUIRED 20'-8"
 WALL LENGTH 41'-4" x 50% 142 S.F.
 GROUND FLOOR WALL AREA 710 S.F. x 20% 142 S.F.

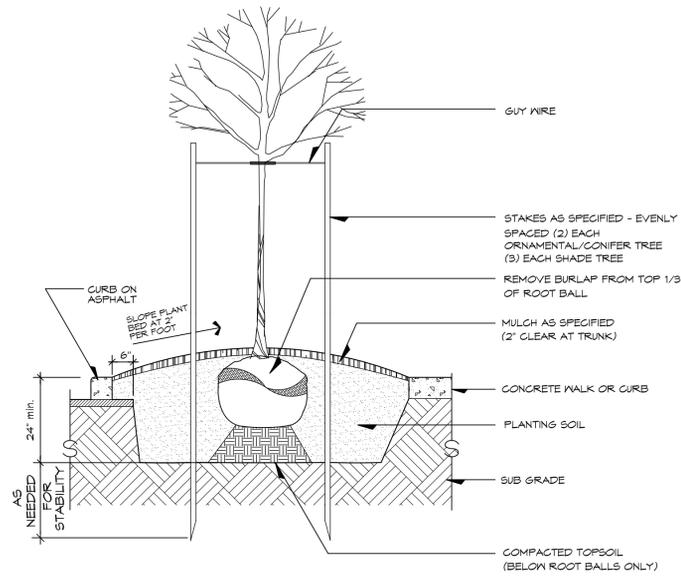
WINDOWS PROVIDED 22'-0"
 LENGTH 220 S.F.
 AREA

WEST 9TH AVENUE NORTH ELEVATION
 WINDOWS REQUIRED 12'-10"
 WALL LENGTH 51'-4" x 25% 94 S.F.
 GROUND FLOOR WALL AREA 900 S.F. x 10% 94 S.F.

WINDOWS PROVIDED 22'-0"
 LENGTH 136 S.F.
 AREA

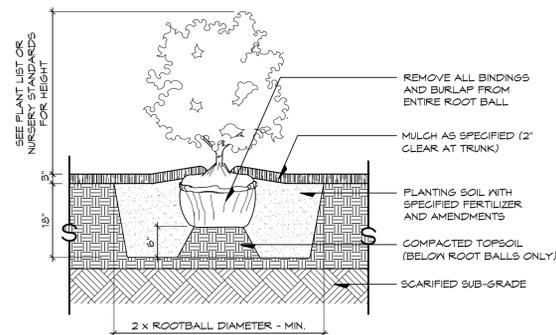
GENERAL NOTES

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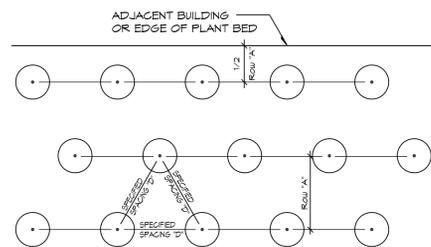
1 TREE PLANTING AT PARKING AREAS
L1 SECTION

SCALE: 1/2" = 1'-0"



2 TYPICAL SHRUB PLANTING
L1 SECTION

SCALE: 1/2" = 1'-0"



3 GROUNDCOVER SPACING DIAGRAM
L1 PLAN

NTS

LANDSCAPE GUIDELINES

SOIL PREPERATION

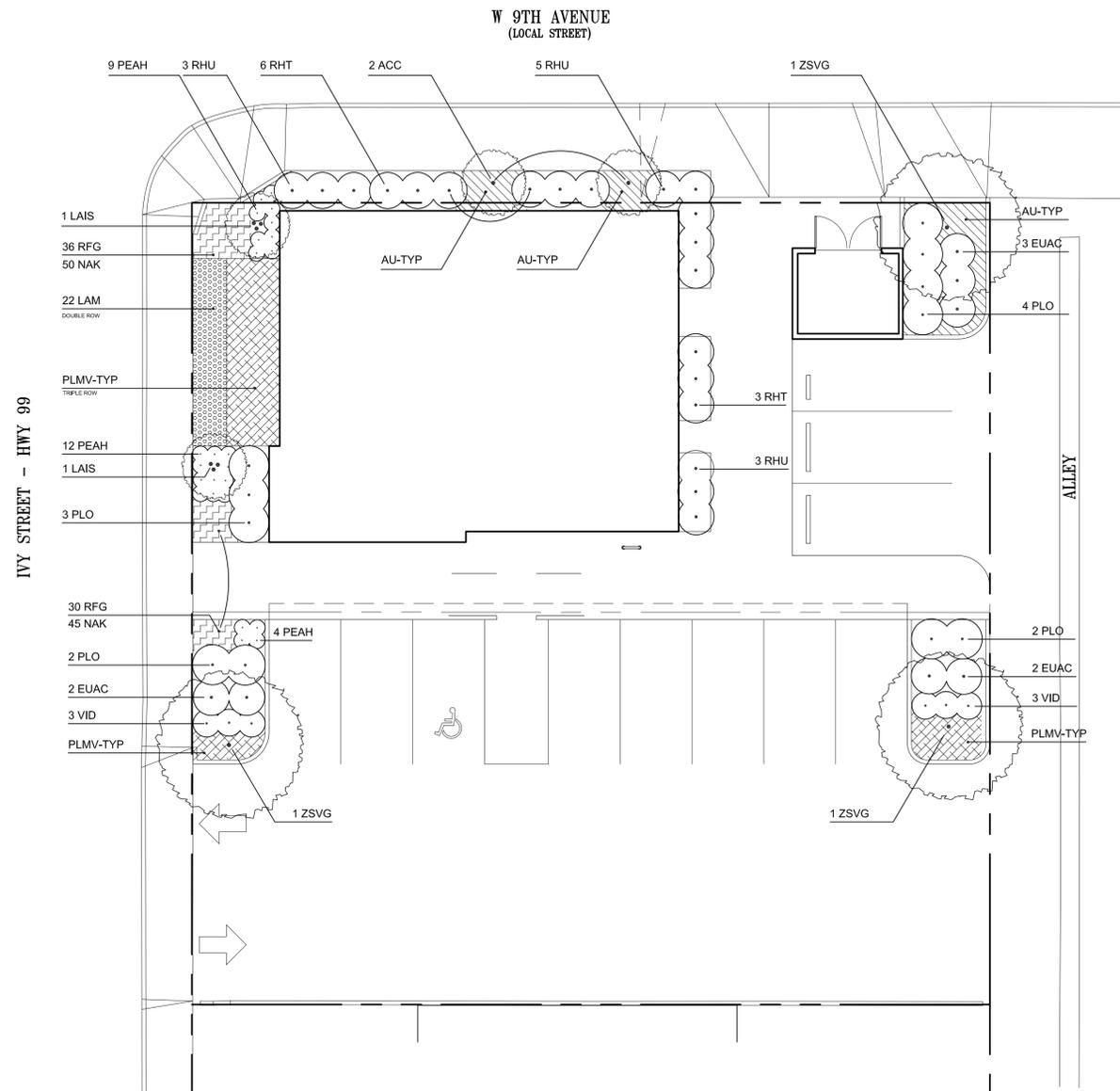
- PLANT BEDS
1. FINISHED ELEVATION OF SUB-BASE TO BE 18" MINIMUM BELOW FINISHED GRADE.
 2. TILL SUBGRADE THOROUGHLY TO A DEPTH OF 8" MINIMUM PRIOR TO PLACEMENT OF TOPSOIL.
 3. PLACE 18" MINIMUM OF TOPSOIL OVER TILLED SUBGRADE. ADD 4" OF ORGANIC MATERIAL AND 15-5-10-10 FERTILIZER TO TOPSOIL AT THE RATE OF 20 LBS. PER 1000 SF. ROTO-TILL AMENDMENTS AND TOPSOIL TO A DEPTH OF 8" MINIMUM.
 4. PROVIDE 3" OF SHREDDED FIR BARK MULCH OVER ALL PLANT BEDS.
 5. PROVIDED "SPADED EDGE" TO SEPARATE LAWNS AND PLANT BEDS.

PLANT MATERIAL

1. PROVIDE ONLY HEALTHY, FULL PLANT MATERIAL AT SIZES INDICATED.
2. PLANT SUBSTITUTIONS TO BE APPROVED BY LANDSCAPE ARCHITECT.
3. PLANT LAYOUT TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

IRRIGATION SYSTEM DESCRIPTION

1. SYSTEM WILL PROVIDE HEAD TO HEAD COVERAGE.
2. SYSTEM WILL PROVIDE SEPARATE ZONES FOR LAWN AND SHRUB AREAS.
3. SYSTEM WILL PROVIDE SEPARATE ZONES FOR DIFFERENT SOLAR ORIENTATIONS.
4. HEAD LAYOUT WILL MINIMIZE OVERSPRAY ONTO PAVED SURFACES.
5. MAIN LINE WILL HAVE MANUAL DRAIN VALVES.
6. SYSTEM WILL BE OPERATED AUTOMATICALLY.
7. SYSTEM WILL BE SUFFICIENT TO INSURE ESTABLISHMENT OF STORMWATER TREATMENT AREA PLANTINGS PRIOR TO INTRODUCTION OF STORMWATER FLOWS.



PLANTING LEGEND

- PROPOSED TREES
- GROUNDCOVER AU-TYP
- GROUNDCOVER PLMV-TYP
- PERENNIALS RFG-TYP
- PERENNIALS LAM-TYP

PLANT SCHEDULE

KEY	QTY.	BOTANICAL NAME	COMMON NAME	MIN. SIZE	COMMENTS
TREES					
ACC	2	Acer circinatum	Vine Maple	6' ht.	multi-stem, B&B
LAIS	2	Lagerstroemia indica 'Seminoles'	Crepe Myrtle	5' ht.	(3) stem min., B&B, matching, full
ZSVG	3	Zelkova serrata 'Village Green'	Japanese Zelkova	2" cal.	Matching, limbed up to approx. 6 ft.
SHRUBS					
EUAC	7	Euonymus alata 'Compacta'	Compact Burning Bush	5 gal.	matching, full
PLO	11	Prunus laurocerasus 'Otto Luyken'	Otto Luyken English Laurel	5 gal.	matching, full
RHT	9	Rhododendron 'Tribby'	Tribby Rhododendron	5 gal.	matching, full
RHU	11	Rhododendron 'Unique'	Unique Rhododendron	5 gal.	matching, full
VID	6	Viburnum davidii	David Viburnum	3 gal.	matching, full
GROUNDCOVERS, PERENNIALS, GRASSES AND BULBS					
AU	24" o.c.	Arctostaphylos uva-ursi	Kinnikinnick	1 gal.	matching, full
LAM	22	Lavendula angustifolia 'Munstead'	Dwarf English Lavender	1 gal.	matching, full
NAK	95	Narcissus 'King Alfred'	King Alfred Daffodil	bulb	large
PEAH	25	Pennisetum alopecuroides 'Hammeli'	Hammeli Fountain Grass	2 gal.	matching, full
PLMV	24" o.c.	Prunus laurocerasus 'Mount Vernon'	Mount Vernon Laurel	1 gal.	matching, full
RFG	66	Rudbeckia fulgida 'Goldsturm'	Goldsturm Black-Eyed Susan	1 gal.	15" o.c.

LANDSCAPE PLAN

