



CITY OF JUNCTION CITY
PLANNING & BUILDING DEPARTMENT

DEV-25-21

Rcvd: 6-10-25

DEVELOPMENT REVIEW APPLICATION PACKET

TYPE I LAND USE

- Submit your completed application packet with documentation to Planning at 1171 Elm Street
- Payment of the base fee is due at the time an application is submitted.
- If you have questions, contact the Permit Technician, Dawn Northey at 541-998-4763 or jcplanning@ci.junction-city.or.us

Staff Contact: Permit Technician, Dawn Northey

Planning ■ 1171 Elm Street/PO Box 250 Junction City OR 97448

Ph 541-998-4763 ■ jcplanning@ci.junction-city.or.us ■ www.junctioncityoregon.gov



CITY OF JUNCTION CITY TYPE I LAND USE APPLICATION

1171 Elm Street/PO Box 250 Junction City OR 97448
Ph 541-998-4763 ■ jcplanning@ci.junction-city.or.us ■ www.junctioncityoregon.gov

The base fee is due at the time an application is submitted. See Table below for fees. Additional fees may apply.

Type I applications are reviewed by City staff with the exception of Subdivision Final Plats (Planning Commission). An applicant may appeal a decision under Junction City Municipal Code (JCMC) 17.150.120. A Type I review takes approximately 30 days once the application is determined to include sufficient information to conduct the review.

Note: Review may reveal additional requirements. Concurrent review of other applications is at the applicant's own risk.

Table 1

Land Use Application	Municipal Code Requirements/Criteria/Supplemental Materials	Base Rate
Change of Use	1. Land Use Application 2. Supplemental Application - Change of Use 3. Junction City Municipal Code, Title 17 applicable to proposal 4. Oregon Building Codes applicable to proposal	\$80 plus any required building permits
Development Review	1. Land Use Application 2. Supplemental Checklist - Development Review 3. JCMC 17.160; 17.85; & 17.90 JCMC 4. Zoning Requirements applicable to proposal/subject site	New Development \$1,070
		Remodel or Addition \$250
Flood Zone Development Review	1. Land Use Application 2. Supplemental Application - Flood Zone Development Permit 3. JCMC 17.80 4. Current Oregon Structural Specialty Code, Appendix G http://ecodes.biz/ecodes_support/free_resources/Oregon/14_Structural/PDFs/Appendix%20G%20-%20Flood-Resistant%20Construction.pdf	\$100 plus any required building permits
Lot Line Adjustment	1. Land Use Application 2. Oregon Revised Statutes, Chapter 92 https://www.oregonlegislature.gov/bills_laws/ors/ors092.html	\$230
Non-Conforming Use	1. Land Use Application 2. JCMC 17.125	\$130
Permitted Activities w/in Wetland Protection Area	1. Land Use Application 2. JCMC 17.60	\$1,630
Sign Permit (including Billboards)	1. Land Use Application 2. Supplemental Application - Sign Permit 3. JCMC 17.115	\$75 plus any required building permits
Subdivision: Final Plat	1. Land Use Application 2. JCMC 16.05 (Planning Commission Review)	\$1,760
Variance - Minor	1. Land Use Application 2. JCMC 17.140	\$325
Wetland Resource Overlay District Map Correction	1. Land Use Application 2. JCMC 17.60	\$950

Contact the Planning Technician for further information about criteria/requirements – 541-998-4763

City of Junction City
LAND USE APPLICATION – TYPE I

Table 2
Land Use Review Classifications – Refer to JCMC 17.150.070

	Type I	Type II	Type III Public Hearing	Type IV Public Hearings
Administrative Decision (City Administrator or Designee) Exception: Final Subdivision Plats are reviewed by the Planning Commission (Decision can be appealed to Planning Commission)	X			
Planning Commission Decision (No public hearing however one can be requested) (Decision can be appealed to City Council)		X		
Planning Commission Public Hearing and Decision (Decision can be appealed to City Council)			X	
Planning Commission Public Hearing and recommendation to City Council; City Council Public Hearing and Decision (Appealed to Oregon Land Use Board of Appeals)				X

Table 3
Land Use Application Review Steps

	Type I	Type II	Type III Public Hearing	Type IV Public Hearings
1. Land Use application submitted	X	X	X	X
2. Completeness Review to determine if all necessary information is included with application (14-30 days)	X	X	X	X
3. Application is incomplete, necessary information is requested from applicant/representative (application on hold)	X	X	X	X
4. Application is deemed complete and applicant/representative notified	X	X	X	X
5. Tentative date set for application to go before the Planning Commission	X Final Plat	X	X	X
6. Tentative date set for application to go before the City Council				X
7. Department of Land Conservation & Development (DLCD) 35-day notice			X Amendment only	X Amendment only
8. Referrals sent to City Departments and outside agencies for their review (14-21 day response period, 30 days if Wetlands involved)	X	X	X	X
9. Opportunity to Comment mailed to property owners w/in 300-feet of subject site (may run concurrent w/ Referrals) (20-40 days before meeting)		X		
10. Planning Commission Notice of Public Hearing mailed to property owners within 300-ft of subject site (may run concurrent with referrals) (20-40 days prior to public hearing)			X	
11. Planning Commission review and decision	X Final Plat	X	X	
12. Planning Commission Recommendation to City Council			X Map Amendment	X
13. City Council Notice of Public Hearing mailed to property owners within 300-ft of subject site (may run concurrent with referrals) (20-40 days prior to public hearing)				X
14. City Council review and decision			X Map Amendment	X
15. Letter of Decision, with supporting documentation, sent to applicant/representative (w/in 5 business days of decision)	X	X	X	X
16. Appeal Period begins day notice is sent to applicant/representative	X	X	X	X
17. Decision becomes final (unless appealed)	X	X	X	X

* Junction City Municipal Code 17.150.130 states multiple land use applications may be applied for at one time. An applicant may request reviews be conducted parallel to one another, or concurrently. If reviewed concurrently, they will be reviewed under the highest Land Use classification (i.e. a Type I review application concurrent with a Type IV, both are reviewed as a Type IV).



CITY OF JUNCTION CITY LAND USE APPLICATION

1171 Elm Street/PO Box 250 Junction City OR 97448
Ph 541-998-4763 ■ jcplanning@ci.junction-city.or.us ■ www.junctioncityoregon.gov

Date Submitted: 6-11-25	Received By: D. Northey	Fee Paid: \$ \$1070.00 (CK # 0105)	Supplemental Application:
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Section 1

LAND USE ACTION (SEE TABLE 1):

Development Review

Section 2

Site Address: To Be Determined	Location Description: 13th St & Ivy/maw East
Property Size: 100 X 100'	Assessor's Map & Tax Lot #:
Present Use: vacant lot	Proposed Use: medical/Doctors office
Brief Summary of Action Requested: new construction	
Are there other permit applications associated with this application? If yes, list: Building Permit App will be Applied for soon	

Section 3

I have the following legal interest in the property (Circle one):

- Owner of Record
 Lessee
 Contract Purchase
 Holder of an exclusive Option to Purchase
 Written authorization from the owner to act as his/her agent must be provided if not the owner of record

Section 4

Applicant: Jim Fauschett Construction Inc. CK 44230	
Address: 1200 Unity Dr Junction City OR 97408	
Phone: 541-914-8686	E-Mail: jfauschett@comcast.net
Property Owner: JC-Ivy, LLC manager Jim Fauschett	
Address: 1200 Unity Dr JC	
Phone: 541-914-8686	E-Mail: same
Contact: (if different than Applicant)	
Address:	
Phone:	E-Mail:

City of Junction City
LAND USE APPLICATION

Section 5	
Required Information	
	Written statement describing proposal in detail
	Narrative Statement explaining how the application complies with all relevant criteria with enough detail for review and decision-making. <i>Note: See Type I information, at the beginning of this packet, for the municipal code chapters and/or sections related to your land use request</i>
	One(1) paper copy of application packet including any plan sets
	Digital copy of application packet including any plan sets
	Non-refundable Application Fee

Section 6		
Supplemental Application:	Yes <input type="checkbox"/>	No <input type="checkbox"/>
Attachment(S):	Yes <input type="checkbox"/>	No <input type="checkbox"/>

Section 7	
<p>Your signature below acknowledges the following:</p> <ol style="list-style-type: none"> Payment of the base fee may not cover the City's costs associated with processing the Application. <i>Per Resolution 1053: All direct costs for contracted services shall be charged monthly to the applicant in the amount billed to City. Contracted city services include, but are not limited to, city engineer, city attorney, building inspector, traffic consultant, &/or wetlands specialist. Direct costs 30 days past due shall be charged 9% interest in addition to the amount billed to the City.</i> <i>The foregoing statements and other information attached hereto are true and accurate to the best of my knowledge and belief.</i> <i>Signer agrees to pay all direct costs associated with processing this land use application.</i> 	
Applicant Signature:	<i>Jim Paquette (manager)</i>
Date:	<i>6/11/25</i>



CITY OF JUNCTION CITY DEVELOPMENT REVIEW APPLICATION

1171 Elm Street/PO Box 250 Junction City OR 97448

Ph 541-998-4763 ■ jcplanning@ci.junction-city.or.us ■ www.junctioncityoregon.gov

The following are required. Your application may be returned if incomplete

<i>Staff Review of the materials listed below may reveal the need for additional information &/or permits</i>	
	Completed Land Use Application and pay Fee* (New Development: \$1,070; Remodel/Addition: \$250)
	One(1) paper copy of the application packet. (additional copies may be requested)
	An electronic copy of the application packet
	Completed Supplemental applications, if applicable
	Burden of Proof – Written statement addressing applicable criteria (JCMC 17.160; 17.85; & 17.90 JCMC; and other code criteria which apply to proposal/subject site
	Deed and Preliminary Title Report w/encumbrances produced w/in the past 30 days.
	Codes, Covenants, or Restrictions, if applicable
	<p><u>Map or Site Plan:</u></p> <ul style="list-style-type: none"> ○ 11" X 17" paper ○ Map date ○ Name and contact information of landowner and design professionals (Engineer, Surveyor, &/or Landscape Architect). ○ Show name, location and dimensions of all existing features on the site for example: <ul style="list-style-type: none"> ▪ Utilities ▪ Buildings ▪ Curbs ▪ Sidewalks ▪ Driveways ▪ Trees/Landscaping ▪ Elevation Contours ** ▪ Public and/or Private Easements, ▪ Right-of-Ways ▪ Flow Direction of all Watercourses ▪ Wetlands/Riparian Areas ▪ Pedestrian Accessways/Bikeways*** ▪ Impervious Surfaces ▪ Zoning districts ▪ Building Setbacks <p><u>Also include:</u></p> <ul style="list-style-type: none"> ▪ Proposed public &/or private easements and right-of-way ▪ Proposed improvements - utilities, landscape, parking/driveways, trees, etc ▪ Cross-section of all proposed streets and impervious surfaces ▪ Proposed features and features to be remove ▪ Proposed sewerlines, flood control, drainage easements (profiles & flow direction) ▪ 100-year floodplain and floodway boundaries (using FIRM map) ▪ Areas subject to inundation of storm water over flow, & all areas covered by water, if applicable
	Building elevations, floor, drainage &/or landscaping plans
	ODOT Right-of-Way Approach Permit (if adjacent to ODOT facility)
	Traffic Impact Analysis (TIA) prepared by licensed engineer (if proposals generates 400+ ADT's)
	Geotechnical Report - Prepared by a licensed engineer (required if public facility)
	State or Federal permits required for development proposal, if any (i.e. Wetlands—Department of State Lands)

**Elevation contours developed by a surveyor: 1-foot contour interval for slopes less than 5% or 2-foot contour interval for slopes between 5% and 10%.

***From the Junction City Transportation System Plan

**GENERAL PLAN NOTES:
OUTPATIENT CLINIC (3880 SF)**

PROJECT LOCATION: 13TH ST. JUNCTION CITY, OREGON
 CODE: 2022 OREGON STRUCTURAL SPECIALTY CODE (OSSC)
 OCCUPANCY: GROUP B- BUSINESS
 CONSTRUCTION TYPE: V-B (UNPROTECTED WOOD FRAME)
 SPRINKLERS: NOT REQUIRED
 SEISMIC DESIGN CATEGORY: D1
 RISK CATEGORY II

1. BUILDING CODE COMPLIANCE:

-ALL WORK SHALL CONFORM TO THE 2022 OSSC AND ALL APPLICABLE OREGON SPECIALTY CODES INCLUDING THE 2021 OREGON ENERGY EFFICIENCY SPECIALTY CODE (OEESC), OREGON FIRE CODE(OFC), AND OREGON ACCESSIBILITY CODE.
 -CONTRACTOR SHALL COMPLY WITH ALL LOCAL UTILITY, ENVIRONMENTAL, AND JURISDICTIONAL PERMITTING REQUIREMENTS.
 -THE BUILDING IS CLASSIFIED AS GROUP B, SINGLE-STORY, NON-SPRINKLERED

2. ACCESSIBILITY REQUIREMENTS

-ALL ELEMENTS OF THE FACILITY OPEN TO THE PUBLIC SHALL COMPLY WITH OSSC CHAPTER 11, ICC A17.1-2009, AND THE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN.

-AT LEAST ONE ACCESSIBLE ENTRANCE RESTROOM, ROUTE, AND PARKING STALL (VAN ACCESSIBLE) SHALL BE PROVIDED.

-ALL DOOR HARDWARE ON ACCESSIBLE DOORS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST (LEVER-TYPE OR PUSH/PULL HARDWARE REQUIRED)

-MINIMUM CLEAR OPENING WIDTH: 32" WITH DOOR OPEN 90 DEGREES.
 -MAXIMUM THRESHOLD HEIGHT: 1/2" (BEVELED IF OVER 1/4")

3. EGRESS AND LIFE SAFETY

-OCCUPANT LOAD IS CALCULATED AT 150 SF /PERSON: 26 OCCUPANT LOAD.

-AT LEAST ONE EXIT REQUIRED: TWO EXITS PROVIDED FOR COMPLIANCE AND REDUNDANCY.

-MEANS OF EGRESS ILLUMINATION SHALL BE PROVIDED FOR COMPLIANCE WITH TRAVEL DISTANCE AND REDUNDANCY.

-MEANS OF EGRESS ILLUMINATION SHALL BE PROVIDED PER OSSC SECTION 1008

-EXIT SIGNS AND EMERGENCY LIGHTING SHALL BE INSTALLED AT ALL EXIT ACCESS POINTS AND EXIT DISCHARGE LOCATIONS AND SHALL ILLUMINATE UPON LOSS OF POWER.

EMERGENCY LIGHTING SHALL BE PROVIDED IN CORRIDORS, LOBBIES, RESTROOMS, AND OTHER EXIT PATHWAYS, IN ACCORDANCE WITH OSSC SECTION 1008 AND NFPA 101

4. FIRE PROTECTION

-PER OSSC SECTION 903, AUTOMATIC SPRINKLERS ARE NOT REQUIRED DUE TO SIZE AND OCCUPANCY TYPE.

-FIRE EXTINGUISHERS SHALL BE PROVIDED PER OSSC SECTION 906 AND OFC SECTION 906

-MINIMUM 1-A: 10-B:C TYPE REQUIRED.

-TRAVEL DISTANCE TO EXTINGUISHERS SHALL NOT EXCEED 75 FEET.

-MOUNT EXTINGUISHERS WITH TOP NO HIGHER THAN 48" ABOVE FINISH FLOOR AND BOTTOM NOT LOWER THAN 4"

-WALL MOUNTED EXTINGUISHERS SHALL BE SHOWN ON THE FLOOR PLANS AND COORDINATED WITH FINAL FIRE DEPARTMENT REVIEW.

5. DOOR & HARDWARE REQUIREMENTS

-ALL EGRESS DOORS SHALL SWING IN THE DIRECTION OF EGRESS TRAVEL WHERE SERVING AN OCCUPANT LOAD OF 50 OR MORE (NOT APPLICABLE IN THIS CASE)

-ALL REQUIRED EXIT DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY, SPECIAL KNOWLEDGE, OR EFFORT (NO THUMB-TURN DEADBOLTS OR DOUBLE-CYLINDER LOCKS)

PANIC HARDWARE IS NOT REQUIRED (GROUP B - 50 OCCUPANTS)

-ALL INTERIOR DOORS ON ACCESSIBLE ROUTES MUST MEET MANUEVERING CLEARANCE PER ICC A117.1

6. STRUCTURAL DESIGN CRITERIA

GROUND SNOW LOAD: 20 PSF
 WIND LOAD: 115 MPH (VULT), EXPOSURE B OR C (SITE SPECIFIC)
 SEISMIC DESIGN CATEGORY: D1
 FLOOR LIVE LOAD: 50 PSF
 ROOF LIVE LOAD: 25 PSF
 RISK CATEGORY: II

7. ENERGY CODE COMPLIANCE

-BUILDING SHALL COMPLY WITH 2021 OEESC (BASED ON IECC 2021)
 INSULATION, HVAC, LIGHTING AND BUILDING ENVELOPE PERFORMANCE SHALL MEET PRESCRIPTIVE OR PERFORMANCE PATH COMPLIANCE

LIGHTING CONTROLS, DAYLIGHTING ZONES AND OCCUPANCY SENSORS REQUIRED PER OEESC SECTION C405

8. GENERAL CONSTRUCTION NOTES

- CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND CONDITIONS IN THE FIELD PRIOR TO CONSTRUCTION.
- ALL PENETRATIONS THROUGH RATED ASSEMBLIES (IF ANY) MUST BE RESTOPPED WITH LISTED SYSTEMS PER OSSC CHAPTER 7
- ALL MATERIALS AND EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURE'S INSTRUCTIONS AND APPLICABLE CODES.
- ANY DEVIATION FROM APPROVED PLANS SHALL BE SUBMITTED TO DESIGN PROFESSIONAL AND AUTHORITY HAVING JURISDICTION (AHJ) FOR APPROVAL.
- CONTRACTOR SHALL COORDINATE WITH UTILITIES FOR FINAL SERVICE CONNECTIONS.

**PLUMBING FIXTURE SCHEDULE
(TABLE 422.1-GROUP B OCCUPANCY)**

FIXTURE	REQUIRED QTY
WATER CLOSETS (WC)	2 (1 MALE, 1 FEMALE)
LAVATORY (LAV)	2 (1 MALE, 1 FEMALE)
DRINKING FOUNTAIN	1
MOP SERVICE SINK	1

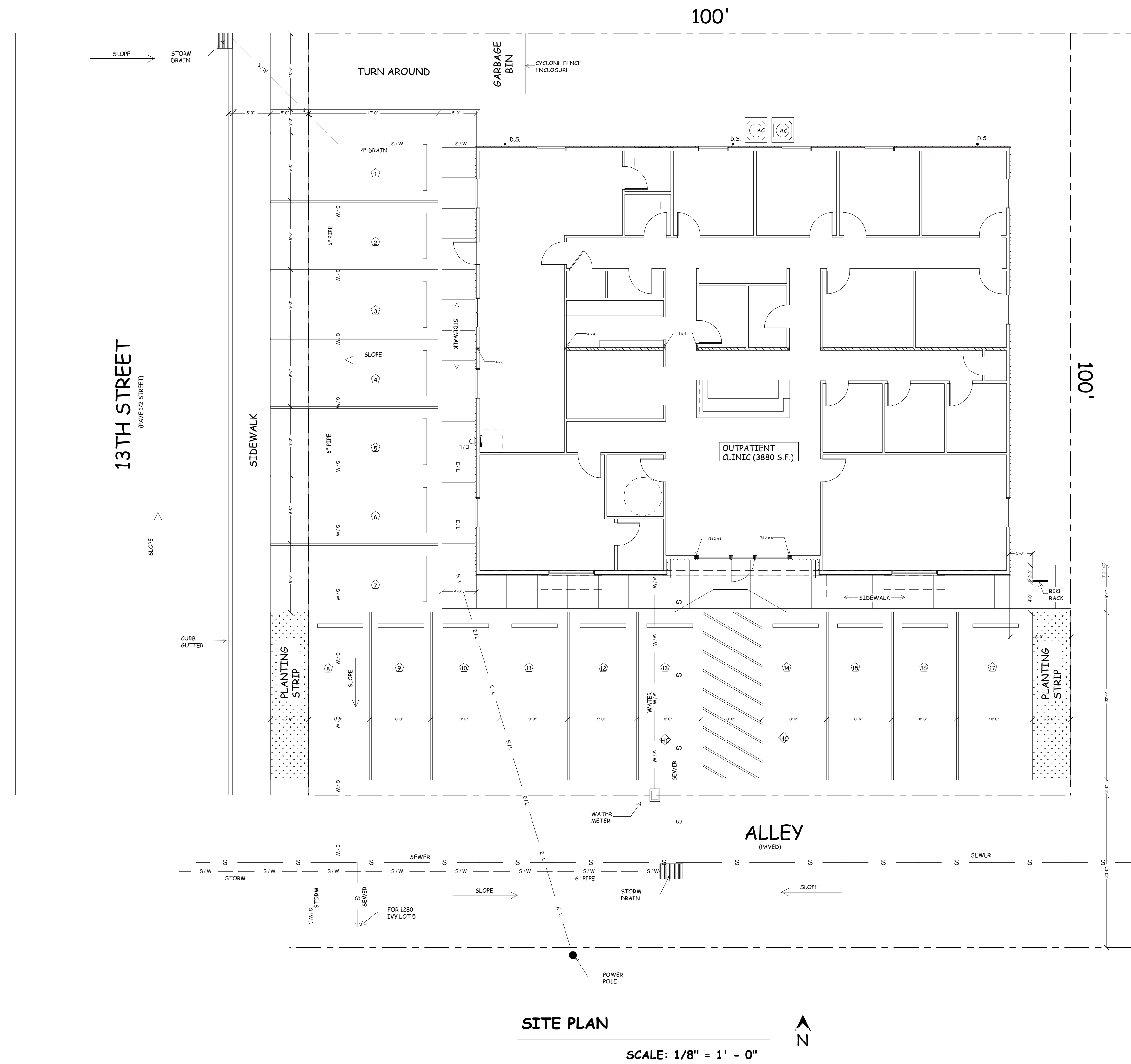
PARKING REQUIREMENTS

VEHICLE PARKING REQUIREMENTS:
 PER JUNCTION CITY MUNICIPAL CODE 1790 AND SIMILAR DEVELOPMENT REVIEWS, OUTPATIENT MEDICAL/ DENTAL CLINICS REQUIRE:

- 1 PARKING SPACE PER 600 SQ. FT. OF GROSS FLOOR AREA
 - FOR 3880 SQ. FT: 3880 /600 = 6.47, ROUNDED UP TO 7 SPACES MINIMUM.
 - RECOMMENDED PROVISION: ADD A BUFFER -8 TOTAL SPACES TO ENSURE COMPLIANCE AND ACCOMMODATE STAFF PATIENTS COMFORTABLY.
- BICYCLE PARKING REQUIREMENTS:
 -1 BICYCLE PER 10 VEHICLE SPACES
- PLAN FOR AT LEAST 1 SHORT-TERM BICYCLE PARKING SPACE, BUT IDEALLY 2 FOR FUTURE FLEXIBILITY. 2 PROVIDED.



VICINITY MAP
 NTS



SITE PLAN
 SCALE: 1/8" = 1' - 0"

LEGAL DESCRIPTION

TAX MAP #: 15-04-32-24
 TAX LOT #: 09300
 LOT #: 9300
 ADDRESS: NO SITE ADDRESS, JUNCTION CITY, OR, 97488
 ACREAGE: .17
 ZONING: C-COMMERCIAL

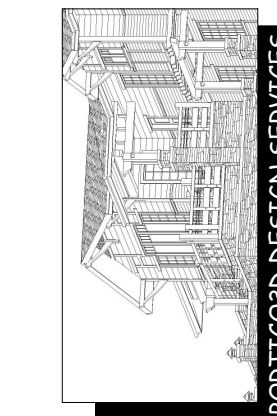
PAGE SCHEDULE

PAGE CS: CODE SUMMARY, PAGE SCHEDULE, SITE PLAN, VICINITY MAP
 PAGE A1: ELEVATIONS
 PAGE A2: PROPOSED FLOOR PLAN
 PAGE A3: FOUNDATION PLAN AND DETAILS
 PAGE A4: ROOF FRAMING PLAN
 PAGE A5: SECTION & WALL DETAILS
 PAGE A6: REFLECTED CEILING PLAN & EGRESS PLAN
 PAGE A7: ACCESSIBILITY DETAILS

DESIGNED FOR:
 A PROPOSED CLINIC @
 13TH STREET,
 JUNCTION CITY, OR

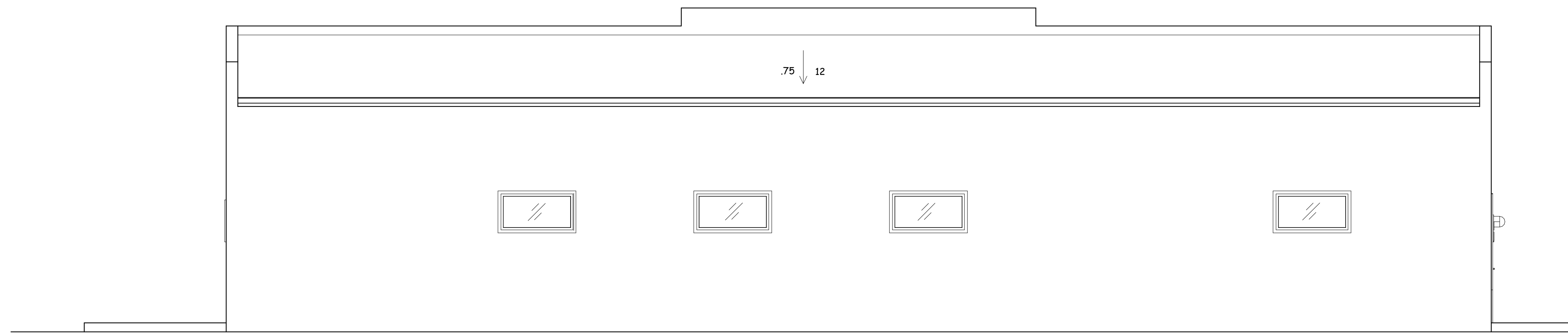
PORTCOB DESIGN SERVICES
 178 BELMONT LN
 EUGENE, OREGON 97404

DRAWING(S): GENERAL NOTES, SITE PLAN, ENERGY CONSERVATION, PAGE SCHEDULE, CODE SUMMARY, VICINITY MAP
 SCALE: NOTED
 DATE: 6-11-25
 DRAWN BY: JMR



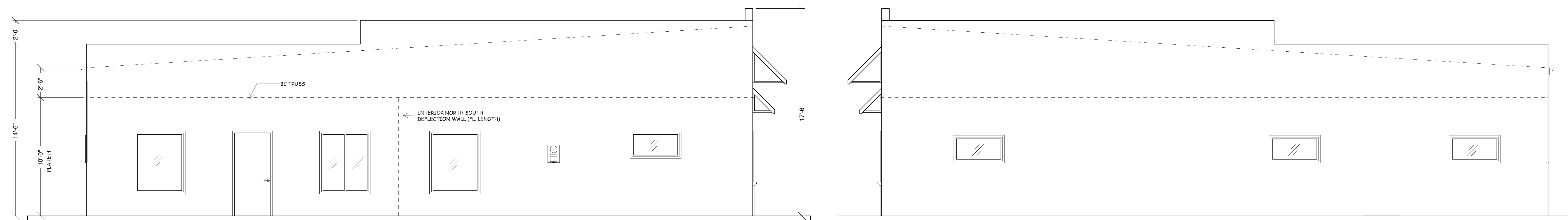
REVISIONS:

SHEET:
 CS
 OF:
 CS



EAST ELEVATION

SCALE: 1/4" = 1' - 0"



NORTH ELEVATION

SCALE: 1/4" = 1' - 0"

SOUTH ELEVATION

SCALE: 1/4" = 1' - 0"

ELEVATION NOTES

ROOFING: SINGLE PLY MEMBRANE, OVER ICE & WATER SHIELD (OR EQ.), OVER MIN. NOM. 1/2" CDX PLYWOOD (OR EQ.)

SIDING: STUCCO, OVER TYVEK (OR EQ.) OVER MIN. NOM. 1/2" CDX PLYWOOD, (OR EQ.)

WINDOWS: ALUMINUM STOREFRONT @ WEST ELEVATION, FIBERGLASS EAST, NORTH & SOUTH ELEVATIONS

WEATHERIZING: FLASH ALL EXTERIOR DOORS, WINDOWS AND HORIZONTAL TRIM. COORDINATE ALL FLASHING INSTALLATIONS WITH YOUR BUILDING INSPECTOR



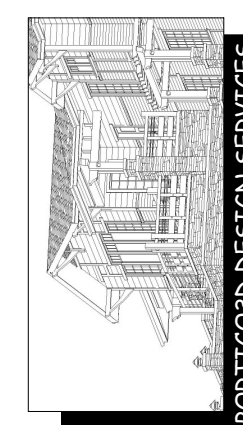
WEST ELEVATION

SCALE: 1/4" = 1' - 0"

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A PROPOSED CLINIC @
13TH STREET,
JUNCTION CITY, OR

PORTCOB DESIGN SERVICES
178 BURNETT LN.
EUGENE, OREGON 97404

DRAWING(S): ELEVATIONS AND PROPOSED FLOOR PLAN
DATE: 6-11-25
SCALE: NOTED
DRAWN BY: JMR



REVISIONS:

SHEET: A1 OF: A7

GENERAL CONSTRUCTION NOTES

1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND CONDITIONS IN THE FIELD PRIOR TO CONSTRUCTION.
2. ALL PENETRATIONS THROUGH RATED ASSEMBLIES (IF ANY) MUST BE FRESTOPPED WITH LISTED SYSTEMS PER OSSC CHAPTER 7
3. ALL MATERIALS AND EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURE'S INSTRUCTIONS AND APPLICABLE CODES.
4. ANY DEVIATION FROM APPROVED PLANS SHALL BE SUBMITTED TO DESIGN PROFESSIONAL AND AUTHORITY HAVING JURISDICTION (AHJ) FOR APPROVAL.
5. CONTRACTOR SHALL COORDINATE WITH UTILITIES FOR FINAL SERVICE CONNECTIONS.

PLAN NOTES

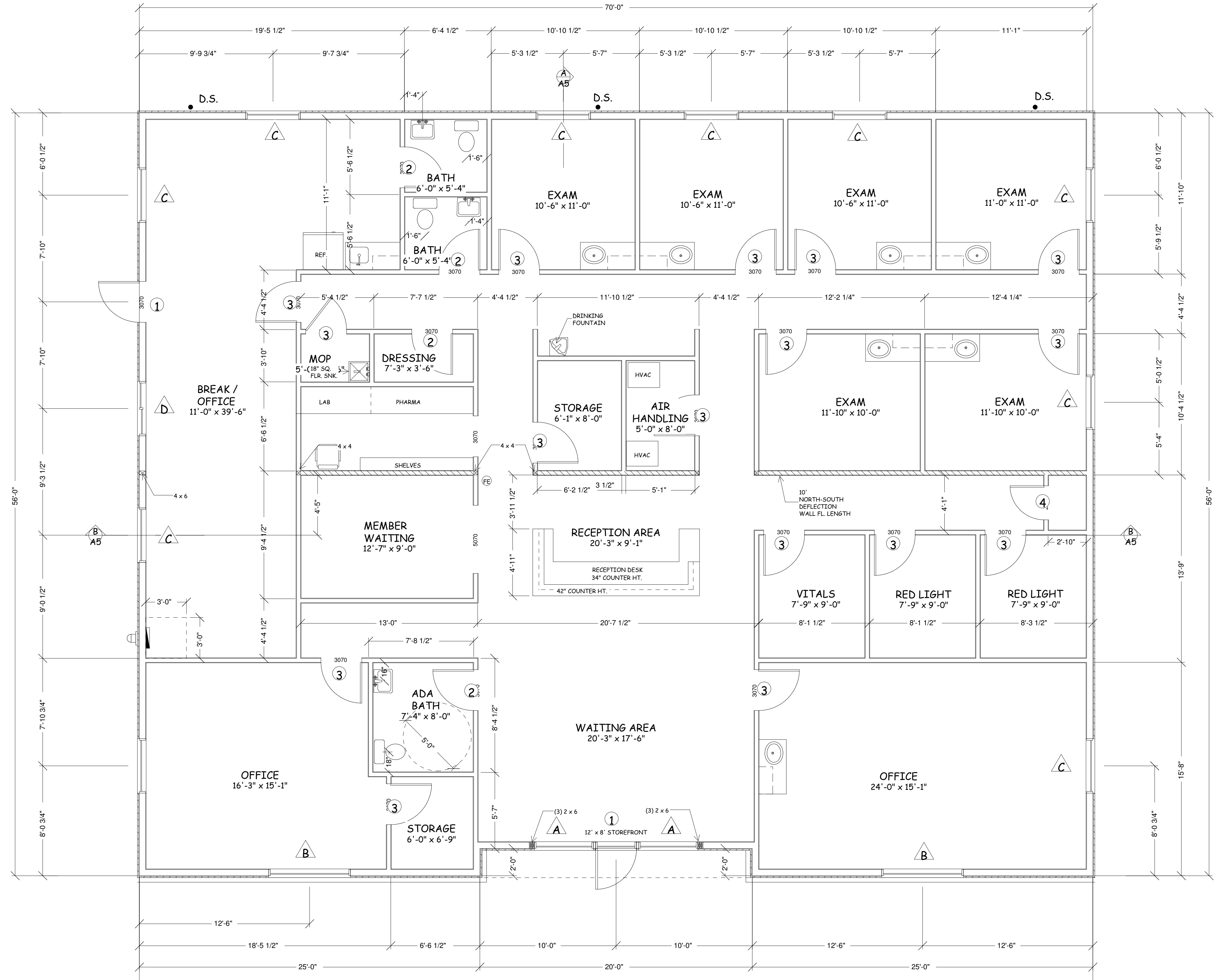
1. ROOMS OTHER THAN BATHS MUST BE EQUIPPED W/ EMERGENCY POWER ILLUMINATION PER OSSC 1006.3
2. DOORS MUST BE OPENABLE FROM INTERIOR W/O KEY OR SPECIAL KNOWLEDGE OR EFFORT
3. SEE ADA BATHROOM DETAILS ON SHEET A7
4. PROVIDE AT LEAST A 2A-10BC FIRE EXTINGUISHER ACCESSIBLE AND MOUNTED NEAR AN EXIT PATH AND WITHIN 75' OF THE MOST REMOTE CORNER OF THE BUILDING. FIRE EXTINGUISHERS ARE TO BE MOUNTED AT NO MORE THAN 48 INCHES FROM THE TOP OF THE HANDLE TO THE FLOOR.

DOOR SCHEDULE:

NO.	SIZE	THK	MATL.	LABEL	FRAME	HDW GROUP	REMARKS
1	3'-0" X 7'-0"	2"	AL/GL		AL.	PULL HANDLE	STOREFRONT; W/ DEADBOLT
2	3'-0" X 7'-0"	1 3/4	SC/WD		METAL	LEVER HANDLE	PRIVACY LOCK FROM INTERIOR W/ OCCUPIED INDICATOR
3	3'-0" X 7'-0"	1 3/4	SC/WD		METAL	LEVER HANDLE	
4	2'-6" X 7'-0"	1 3/4	SC/WD		METAL	LEVER HANDLE	

WINDOW SCHEDULE

ID	SIZE	TYPE	HEAD		REMARKS
A	12'-0" X 8'-0"	FXD	8'-0"		STOREFRONT: 12' x 8'; SEE WEST ELEVATION
B	6'-0" X 4'-0"	FXD	7'-0"		MILIGUARD FIBERX (TYP.) TRANSIC SERIES BLACK ON BLACK
C	4'-0" X 2'-0"	FXD	7'-0"		MILIGUARD FIBERX (TYP.) TRANSIC SERIES BLACK ON BLACK
D	4'-0" X 2'-0"	XO	7'-0"		MILIGUARD FIBERX (TYP.) TRANSIC SERIES BLACK ON BLACK



PROPOSED FLOOR PLAN

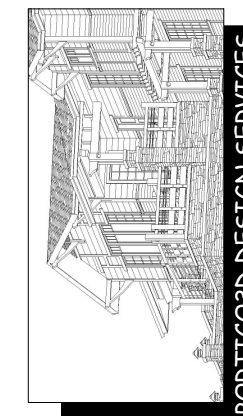
3880 SQ. FT.

SCALE: 1/4" = 1' - 0"

DESIGNED FOR:
A PROPOSED CLINIC @
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PORTCOB DESIGN SERVICES
178 BURNETT LN.
EUGENE, OREGON
97404

DRAWING(S): PROPOSED FLOOR PLAN
SCALE: NOTED
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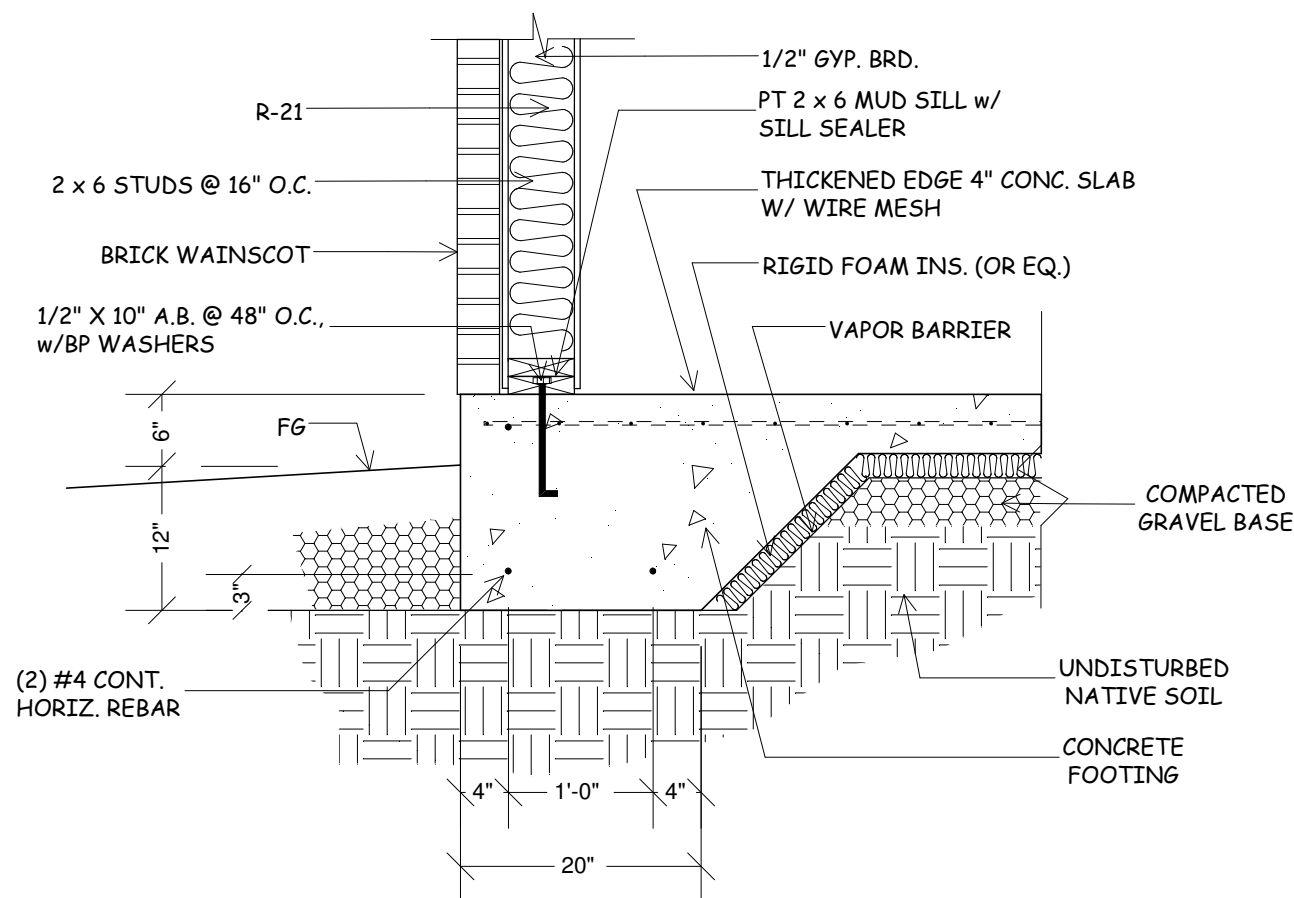


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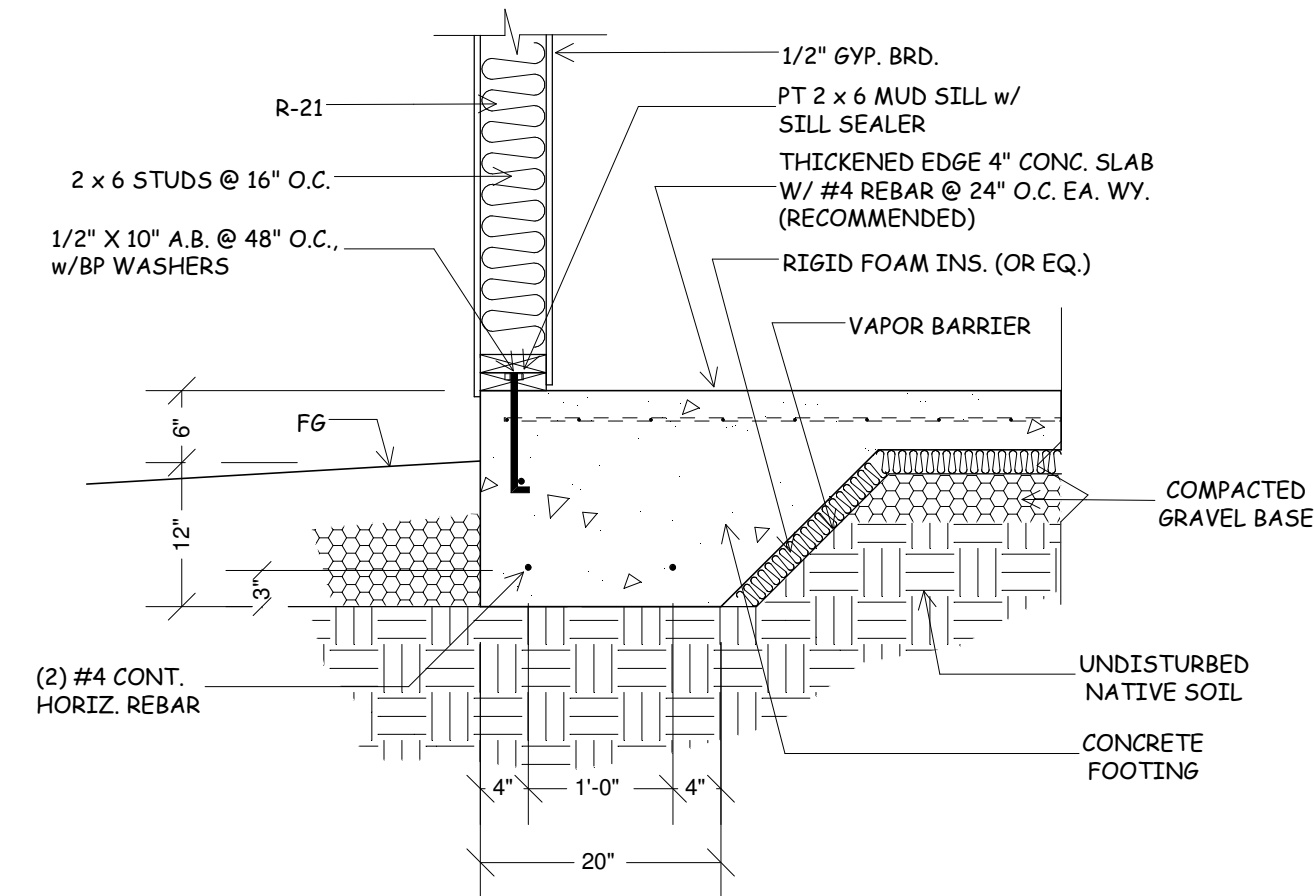
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FOUNDATION NOTES

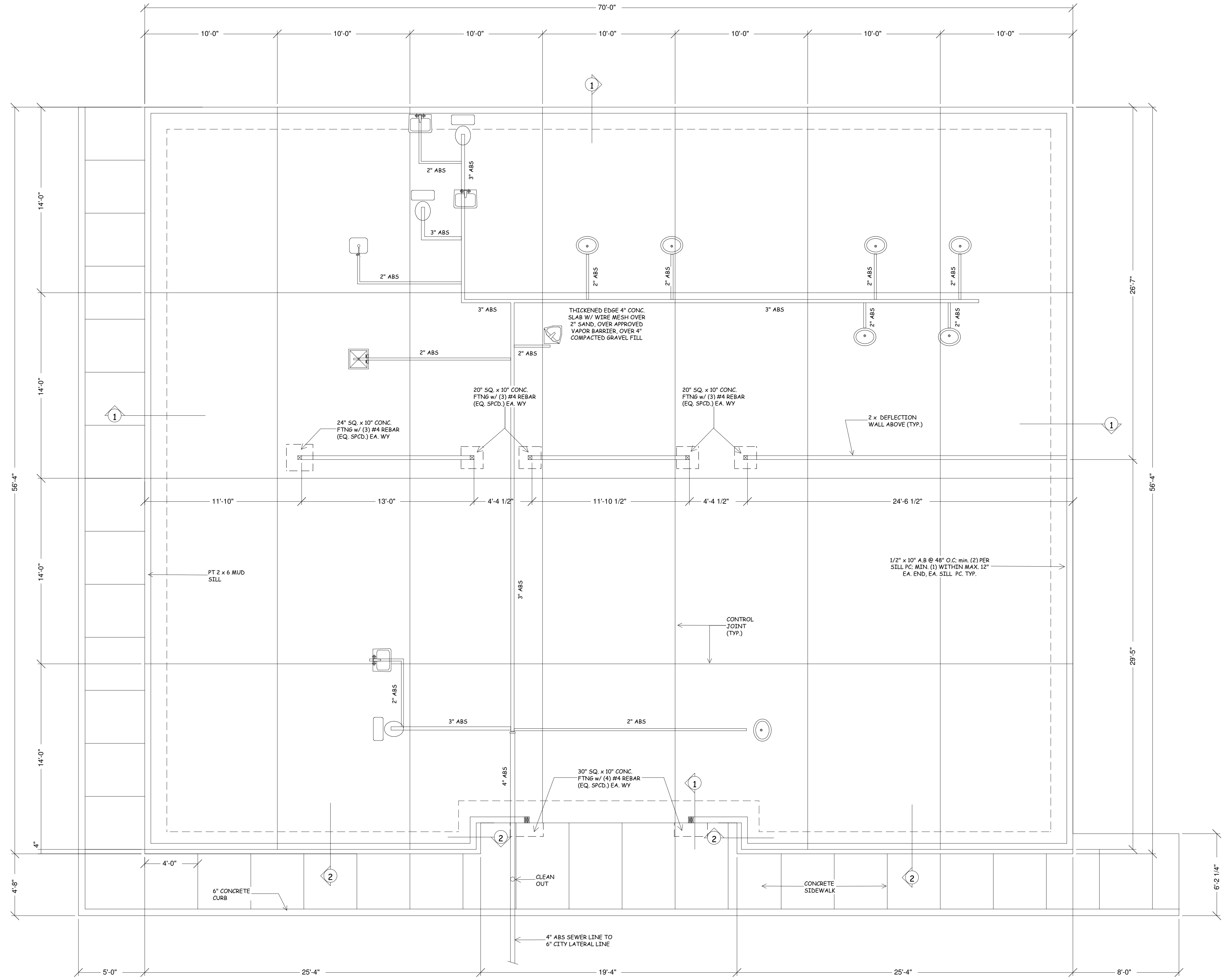
1. All footings shall bear on undisturbed soil devoid of any organic material, on a maximum of 4" material compacted to 95%, or on engineered fill per a soils engineer's geotechnical report. Compacted Materials shall consist of 3/4" crushed rock or granular material. Footings shall be stepped as required to maintain the required minimum depth (or more) below finished grade.
2. Maximum compacted fill supporting any concrete work (including flatwork) shall be 4", unless designed and inspected by an Oregon Architect or Engineer. All compaction shall be to a minimum 95% of modified proctor
3. All concrete shall have a minimum compressive strength of 3000 PSI, designed at 2500 psi, so no special inspection req'd. Concrete shall be air entrained, minimum 5%, maximum 7%.
4. Concrete slabs shall have control joints at maximum 12' intervals in any direction.
5. Unless specified otherwise, all reinforcing steel shall be A-615 grade 60. WWM shall be 6" x 6", 10-10, A-615
6. All wood in contact with concrete shall be pressure-treated. Interior posts shall be separated from concrete bases with minimum 55# roll roofing. All interior posts greater than 4' in height shall be mechanically fastened to the pier and beam. Nails or screws driven into pressure treated wood shall be HD Galv.
7. 3" x 3" x .228 washers required at all anchor bolts.



DETAIL 2:
SCALE: 3/4" = 1' - 0"



DETAIL 1:
SCALE: 3/4" = 1' - 0"



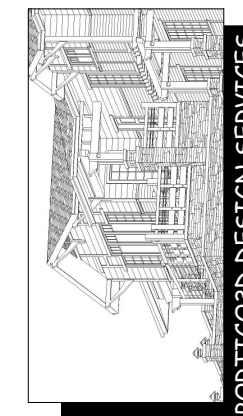
FOUNDATION PLAN
SCALE: 1/4" = 1' - 0"

*NOTE: A.B.S MUST EXTEND A MINIMUM OF 7" INTO CONCRETE. SPACING SHALL NOT EXCEED 6' O.C. WITH A MINIMUM OF TWO BOLTS PER SILL PIECE OR PLATE, WITHIN 12" OF EACH END. PLATE WASHERS: A MINIMUM OF .229 INCH BY 3 INCHES SHALL BE INSTALLED BETWEEN THE FOUNDATION SILL PLATE AND NUT. THE HOLE IN THE PLATE WASHER IS PERMITTED TO BE DIAGONALLY SLOTTED WITH A WIDTH UP TO 3/16 INCH LARGER THAN THE BOLT DIAMETER AND A SLOT LENGTH NOT TO EXCEED 1 3/4 INCHES PROVIDED A STANDARD CUT WASHER IS PLACED BETWEEN THE PLATE WASHER AND THE NUT.

DESIGNED FOR:
A PROPOSED CLINIC @
13TH STREET,
JUNCTION CITY, OR

PORTCOB DESIGN SERVICES
178 BARNETT LN.
EUGENE, OREGON
97404

DRAWING(S): FOUNDATION PLAN & DETAILS
SCALE: NOTED
DATE: 6-11-25
DRAWN BY: JMR

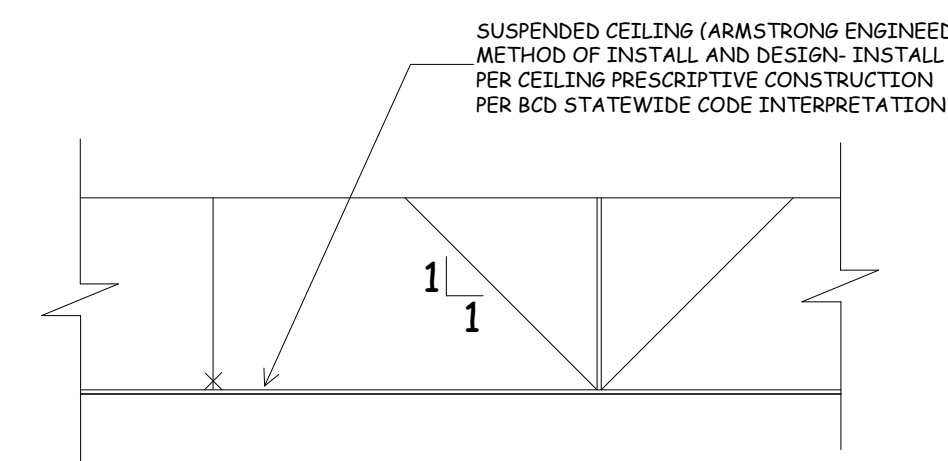


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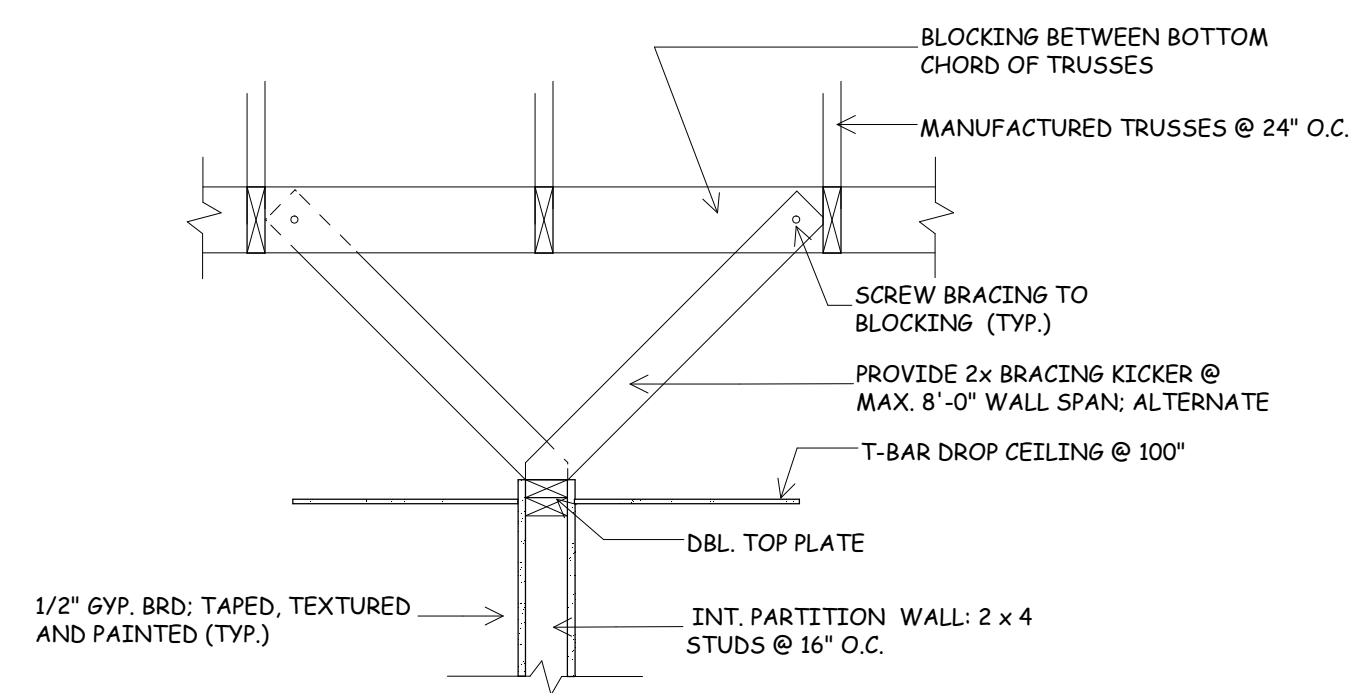
SEISMIC DESIGN REQ'S

- ASTM E580 / CISCA GUIDELINES
- SEISMIC SEPARATION JOINTS
- LATERAL FORCE BRACING USING WIRES AT ANGLES < OR EQUAL TO 45 DEGREES
- PERIMETER CLOSURE ANGLES WITH 3/4" CLEARANCE
- VERTICAL HANGER WIRES @ 4' O.C. TIED TO STRUCTURE
- HEAVY COMPONENTS (DIFFUSERS, LIGHTS) INDEPENDENTLY SUPPORTED FROM STRUCTURE



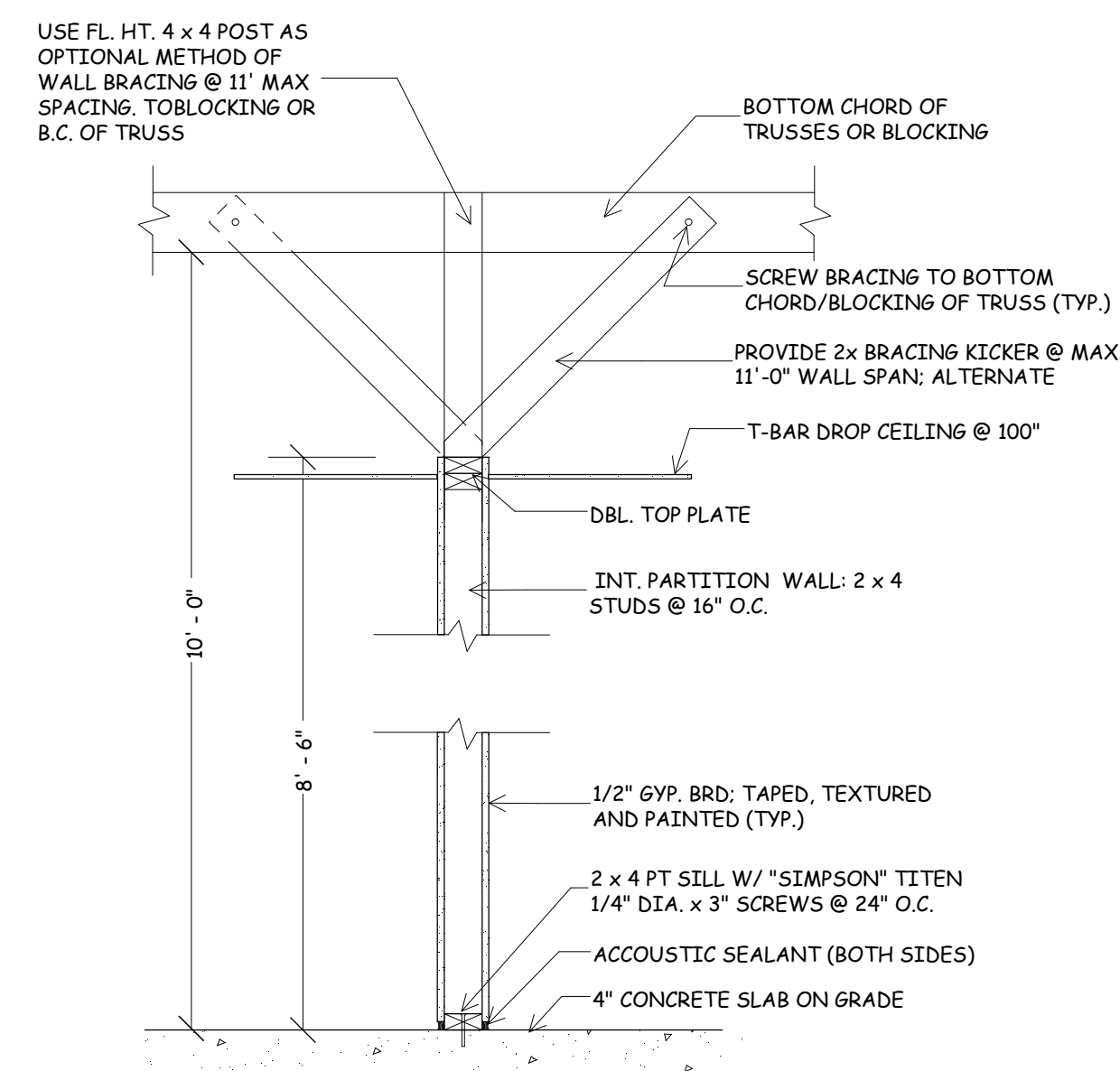
TYP. T-BAR DROP CLNG. DETAIL

SCALE: 1" = 1' - 0"



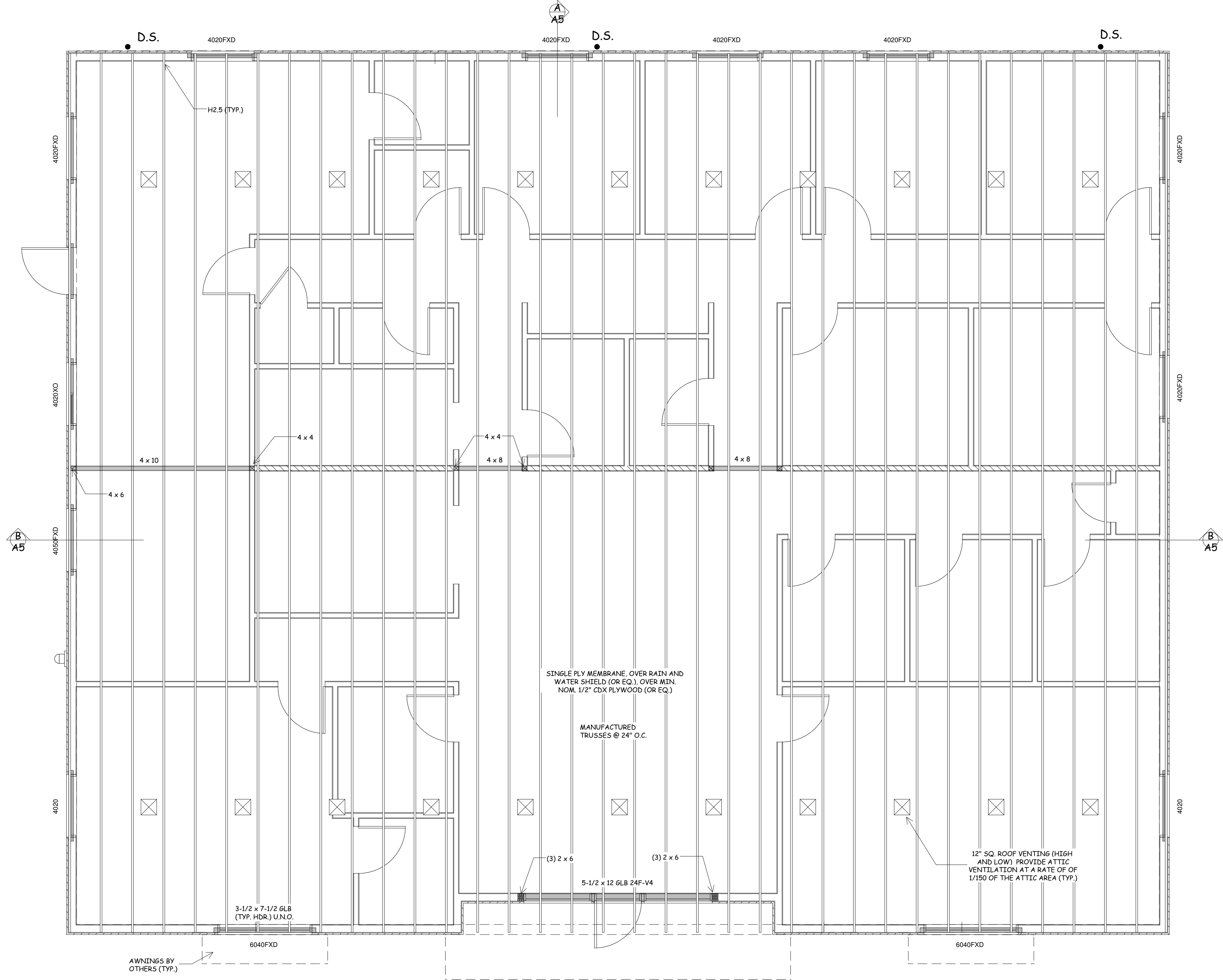
W2
A4 TYP. INT. WALL DETAIL 2
PARLL. TO TRUSSES

SCALE: 3/4" = 1' - 0"



W1
A4 TYP. INT. WALL DETAIL 1
PERP. TO TRUSSES

SCALE: 3/4" = 1' - 0"



ROOF VENTILATION NOTE

PROVIDE ATTIC VENTILATION AT A RATE OF 1/150 OF THE ATTIC AREA, OR 1/300 WHERE VAPOR RETARDER AND BALANCED EAVE/RIDGE VENTILATION IS INSTALLED. USE CONTINUOUS SOFFIT AND RIDGE VENTING.

VENTS SHALL BE CORROSION-RESISTANT AND SCREENED PER OSSC 1202.2. FLASH ALL ROOF PENETRATIONS (PLUMBING VENTS, EXHAUST DUCTS) PER OPSC 906 AND MANUFACTURER'S INSTRUCTIONS

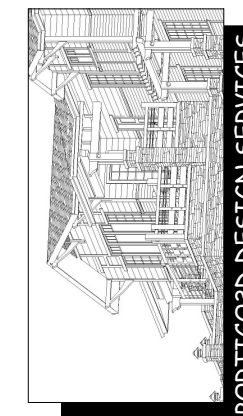
ROOF FRAMING PLAN

SCALE: 1/4" = 1' - 0"

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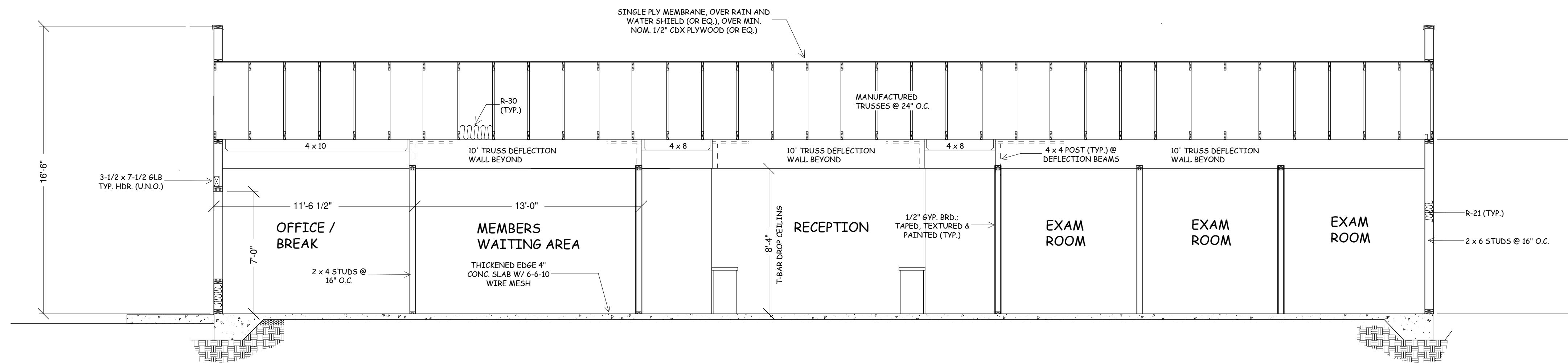
PORTCOB DESIGN SERVICES
178 BUREAU LN.
EUGENE, OREGON
97404

DRAWING(S): ROOF FRAMING PLAN & WALL DETAILS
SCALE: NOTED
DATE: 6-11-25
DRAWN BY: JMR

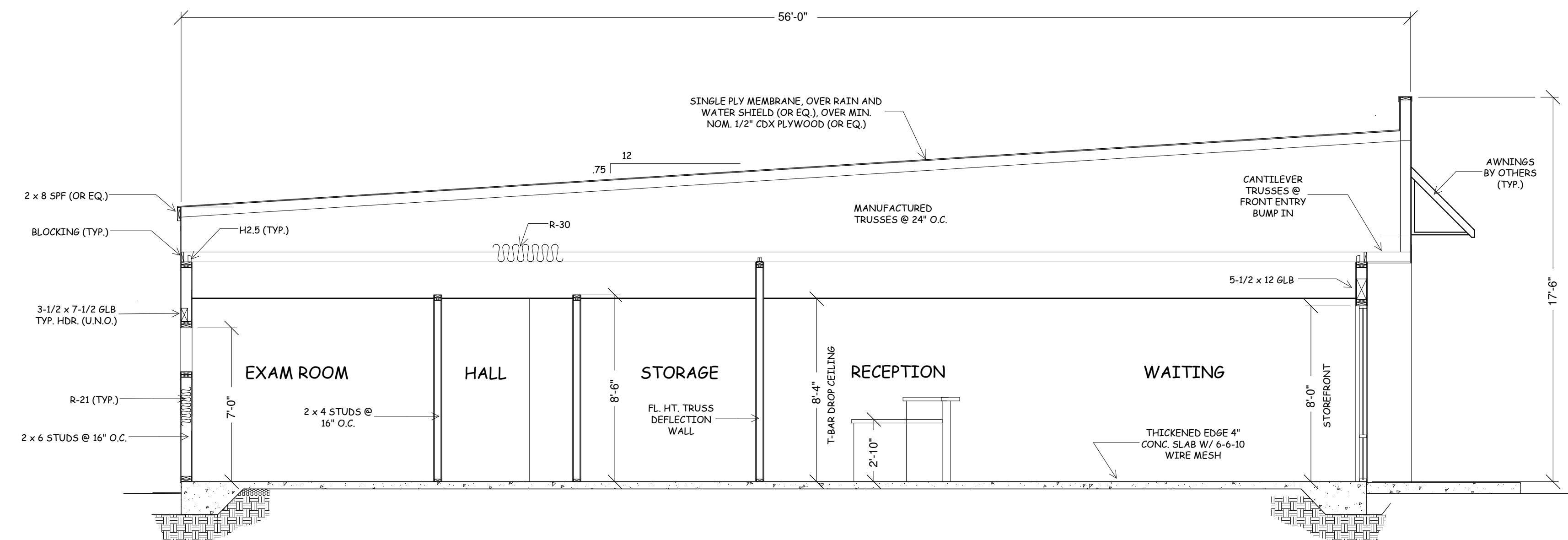


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A
A5 SECTION B
SCALE: 1/4" = 1' - 0"

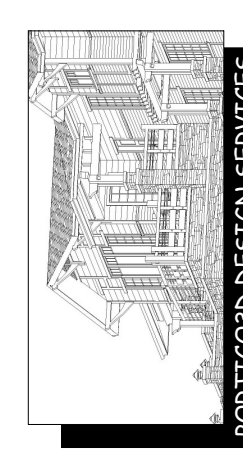


A
A5 SECTION A
SCALE: 1/4" = 1' - 0"

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DRAWING(S): SECTIONS A & B
SCALE: NOTED
DATE: 6-11-25
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GENERAL LIGHTING STRATEGY

AREA	FIXTURE TYPE
EXAM / OFFICE ROOMS	2 x 4 LED TROFFER
CORRIDORS	2 x 4 OR 1 x 4 LED
LOBBY / RECEPTION	2 x 2 LED OR RECESS
RESTROOMS	LED DOWNLIGHT
STORAGE CLOSETS	LED WRAP OR STRIP
ELECTRICAL / MECH ROOMS	LED STRIP

EMERGENCY EXIT LIGHTING

EMERGENCY EXIT LIGHTING (PER OSSC/NEC/IFC):

- INSTALL DUAL HEAD EMERGENCY LIGHTS
 - ONE AT EACH EXIT DOOR
 - INSIDE CORRIDORS WHERE PATH OF EGRESS CHANGES DIRECTION
 - AT RESTROOM WITH MORE THAN ONE FIXTURE OR OVER 300 SQ. FT. INSTALL ILLUMINATED EXIT SIGNS
- EXIT SIGNS:
- INSTALL ILLUMINATED EXIT SIGNS AT:
 - EACH EXIT DOOR
 - AT CORRIDOR INTERSECTIONS LEADING TO EXITS
 - MUST BE VISIBLE FROM ALL POINTS IN EGRESS PATH
- BACKUP POWER:
- ALL EMERGENCY FIXTURES SHALL BE POWERED BY EITHER:
 - INTEGRAL BATTERY BACKUP (90 MINUTE) or
 - BUILDING EMERGENCY CIRCUIT BACKED BY GENERATOR INVERTER

CONTROL SYSTEMS

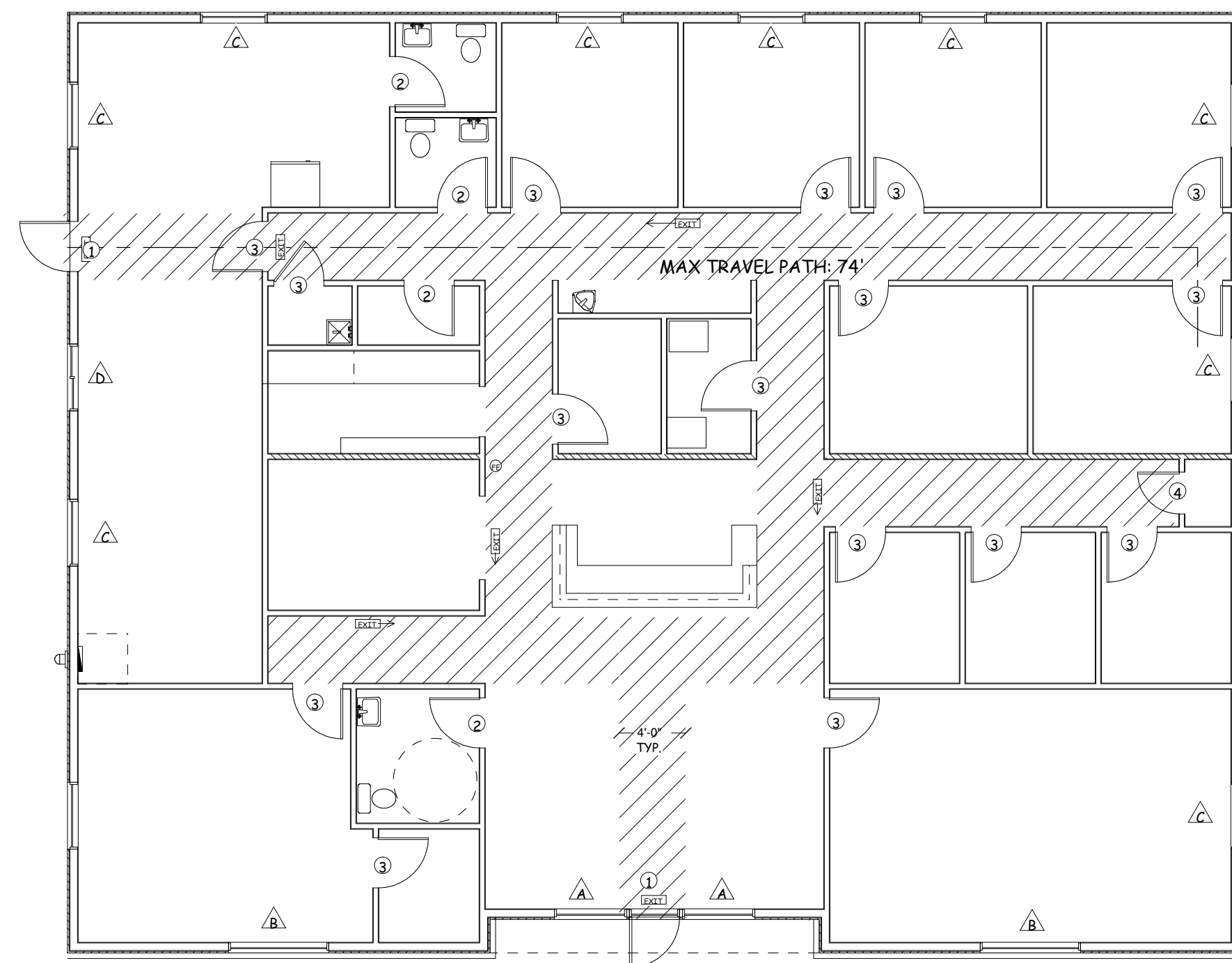
LOCATION	CONTROLS
EXAM / OFFICE ROOMS	MANUAL SWITCH + VACANCY SENSOR
LOBBY	DAYLIGHT SENSOR + DIMMER
CORRIDORS	OCCUPANCY SENSOR
RESTROOMS	OCCUPANCY SENSOR w/ OVERRIDE
EXTERIOR / EXIT	PHOTOCELL + TIME CLOCK

GENERAL KEY

- EMERGENCY BATTERY POWERED EXIT SIGNAGE/ W "BUG EYE" LIGHTS
- FIRE EXTINGUISHER: 1A:10BC, 48" MAX HANDLE HEIGHT MAY BE LOCATED IN TAMPER RESISTANT CABINET
- VENT TO OUTSIDE FANS IN RESTROOMS
- 4' WIDE EGRESS PATH
- MAX TRAVEL PATHS
- STANDARD FLORESCENT LIGHT BALLASTS W/ EMERGENCY PACKS (SEE EMERGENCY LIGHTING NOTES)

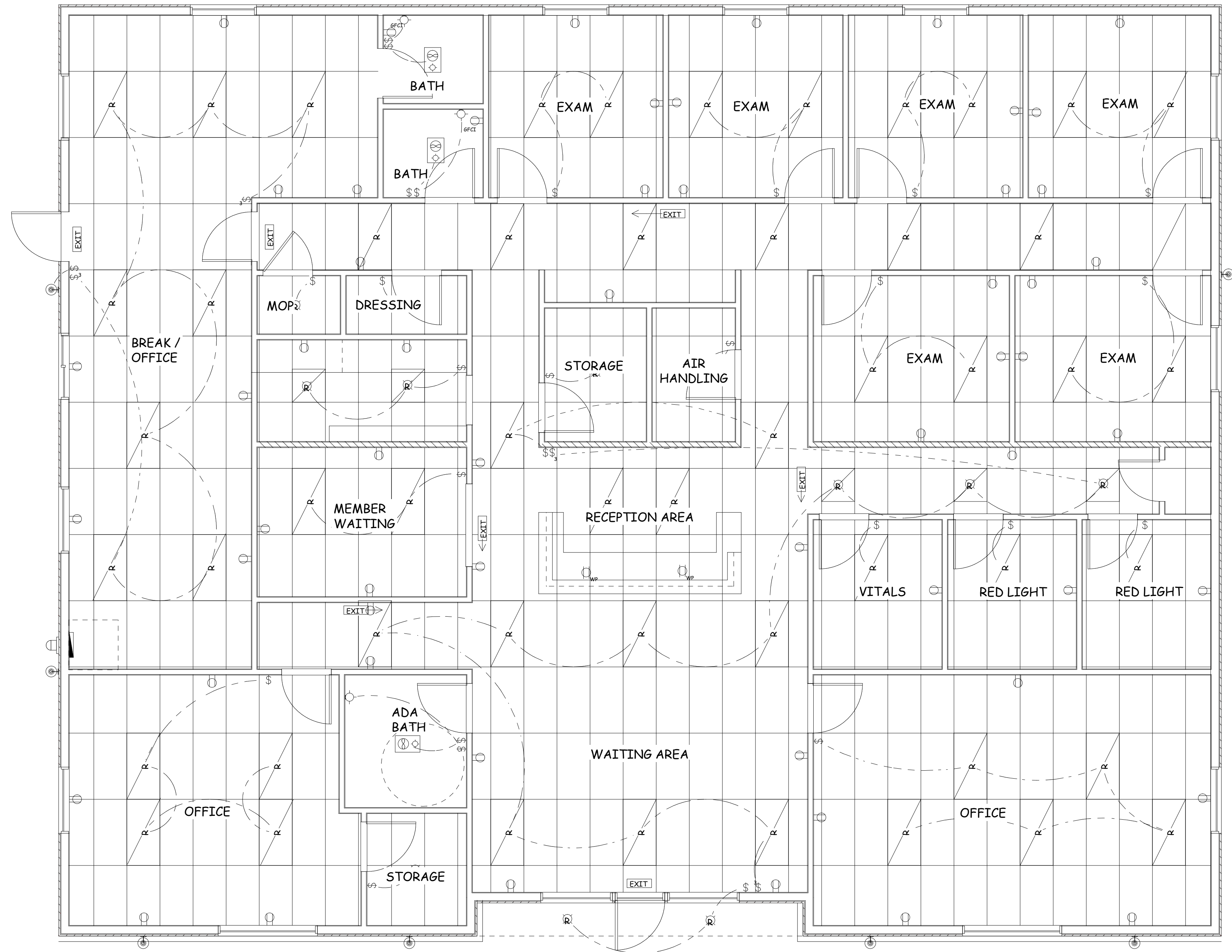
ELECTRICAL SYMBOL KEY

- 24" x 48" TROFFER
- 24" x 24" TROFFER
- RECESSED LIGHT
- EXHAUST FAN
- ILLUMINATED EXIT SIG
- SMOKE DETECTOR
- SINGLE SWITCH
- DUPLEX OUTLET
- GFI-PROTECTED DUPLEX OUTLET
- BREAKER PANEL
- HVAC SUPPLY REGISTER
- HVAC RETURN REGISTER



COMMON PATH OF TRAVEL / EGRESS PLAN

SCALE: 1/8" = 1' - 0"



REFLECTED CEILING PLAN

SCALE: 1/4" = 1' - 0"

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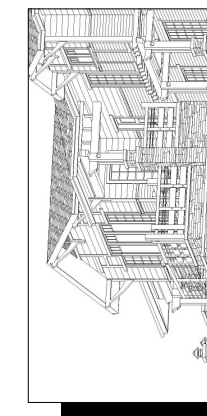
PORTCOB DESIGN
SERVICES
1770 BELMONT LN
EUGENE, OREGON
97404

DRAWING(S):
REFLECTED CEILING
PLAN, NOTES, EGRESS
PLAN

DATE: 6-11-25

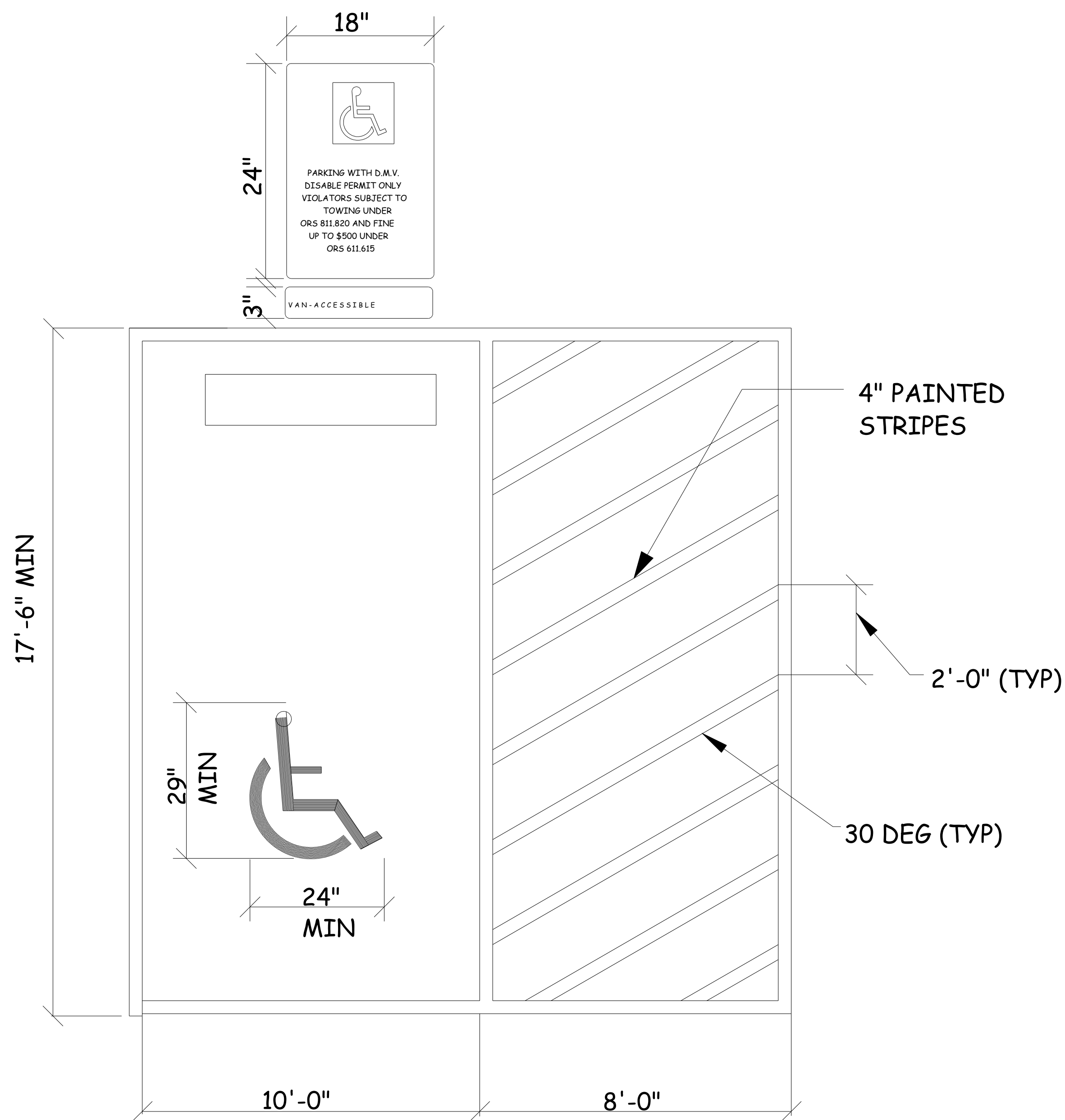
SCALE: NOTED

DRAWN BY: JMR



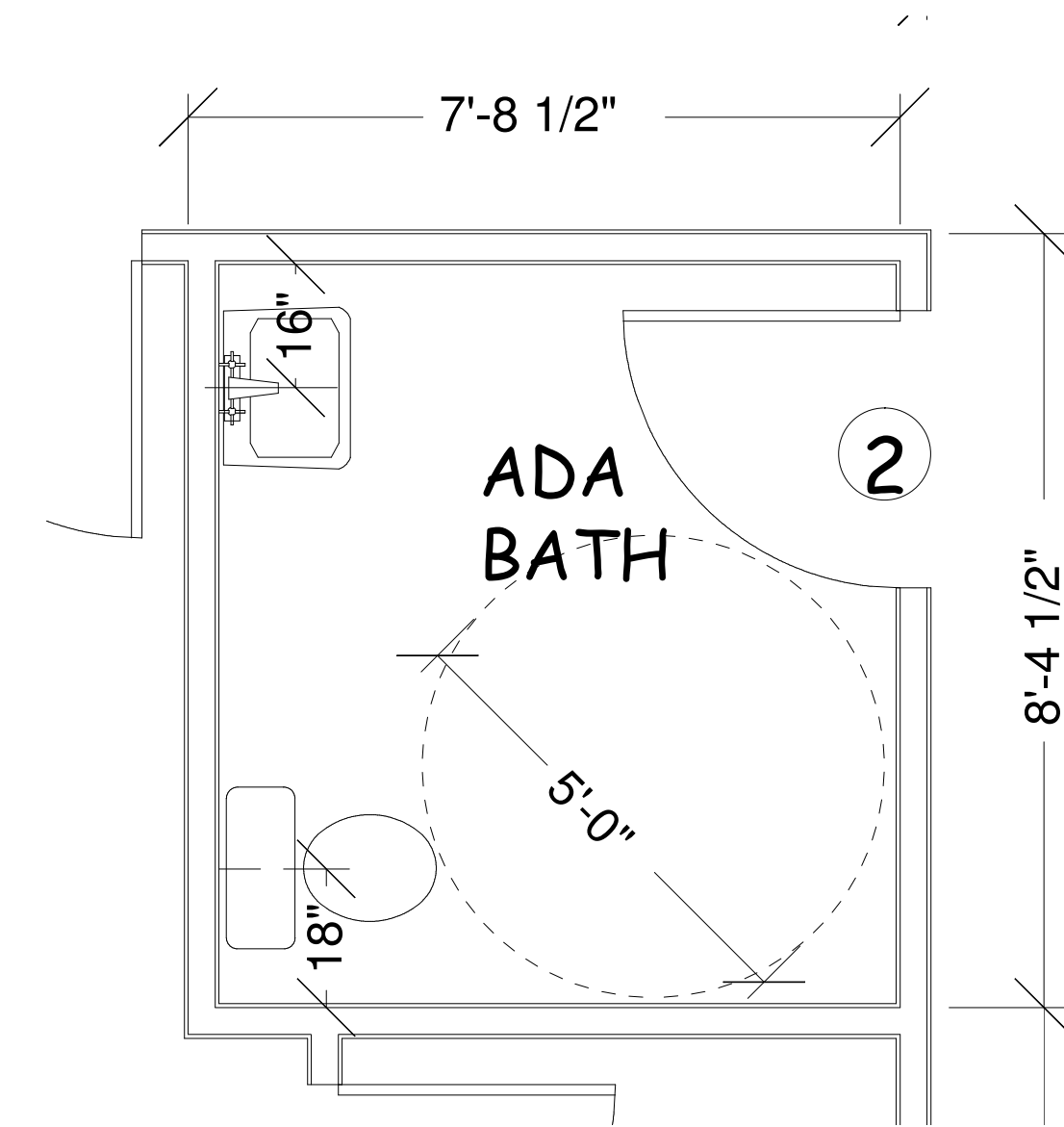
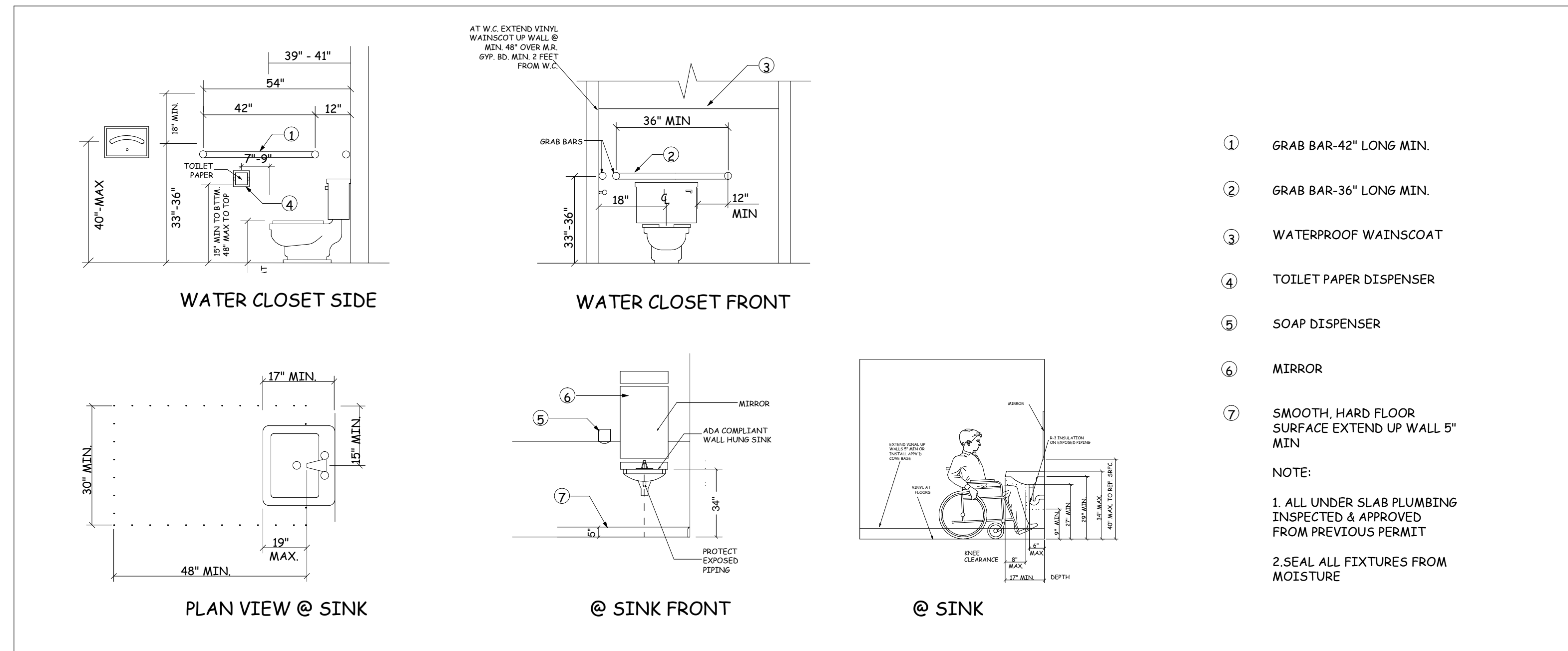
REVISIONS:

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OF:
A7



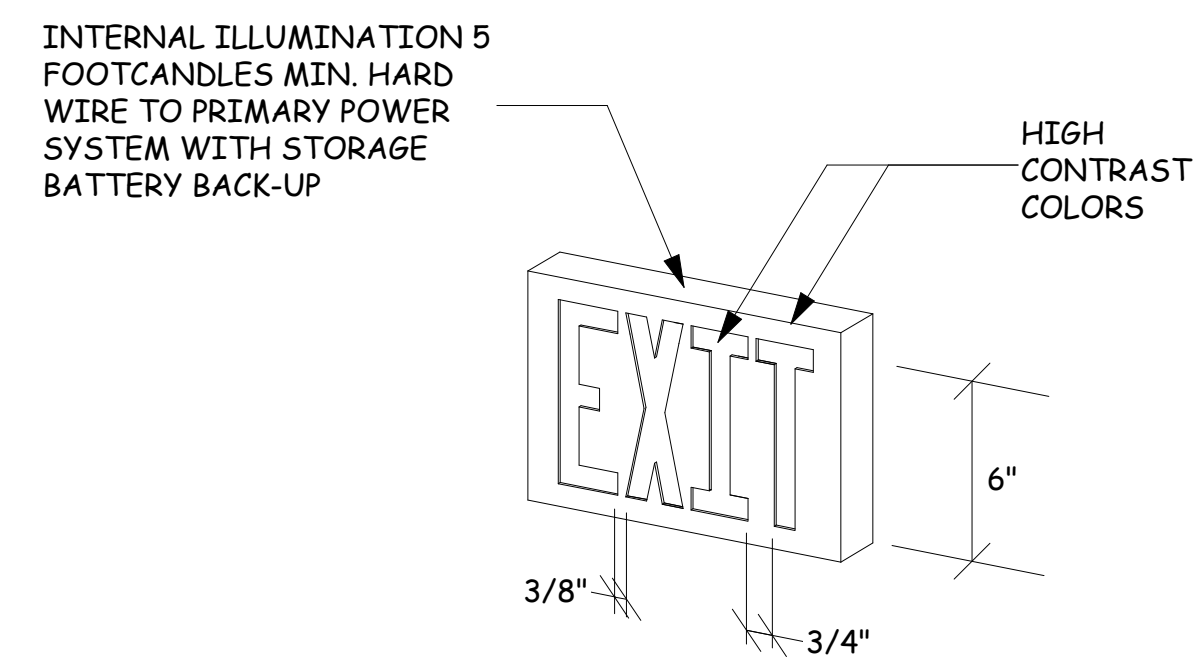
ACCESSIBLE PARKING DETAIL (TYP.)

SCALE: NTS



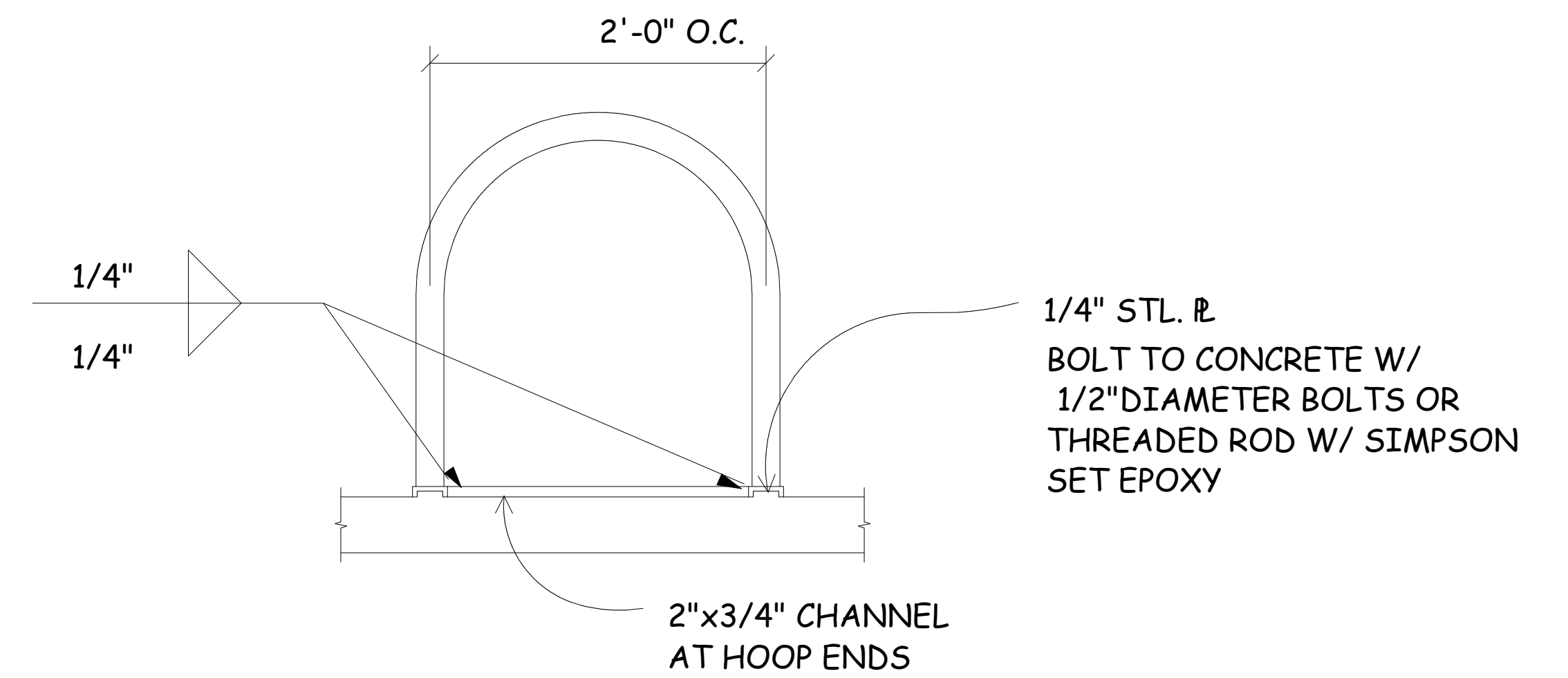
ADA BATHROOM PLAN VIEW

SCALE: 1/2" = 1' - 0"



ILLUMINATED EXIT SIGN

SCALE: 1" = 1' - 0"



BIKE RACK DETAIL

SCALE: 1/2" = 1' - 0"

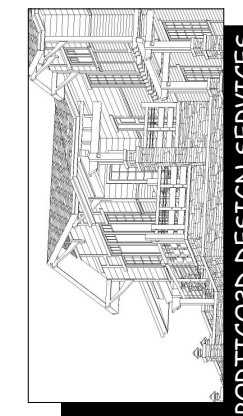
ADA BATHROOM DETAILS

SCALE: NTS

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JUNCTION CITY, OR

PORTCOB DESIGN
SERVICES
178 BELMONT LN.
EUGENE, OREGON
97404

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SCALE: NOTED
DATE: 6-11-25
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OF:
A7

**GENERAL PLAN NOTES:
OUTPATIENT CLINIC (3880 SF)**

PROJECT LOCATION: 13TH ST. JUNCTION CITY, OREGON
 CODE: 2022 OREGON STRUCTURAL SPECIALTY CODE (OSSC)
 OCCUPANCY: GROUP B - BUSINESS
 CONSTRUCTION TYPE: V-B (UNPROTECTED WOOD FRAME)
 SPRINKLERS: NOT REQUIRED
 SEISMIC DESIGN CATEGORY: D1
 RISK CATEGORY II

1. BUILDING CODE COMPLIANCE:

-ALL WORK SHALL CONFORM TO THE 2022 OSSC AND ALL APPLICABLE OREGON SPECIALTY CODES INCLUDING THE 2021 OREGON ENERGY EFFICIENCY SPECIALTY CODE (OEESC), OREGON FIRE CODE (OFC), AND OREGON ACCESSIBILITY CODE.
 -CONTRACTOR SHALL COMPLY WITH ALL LOCAL UTILITY, ENVIRONMENTAL, AND JURISDICTIONAL PERMITTING REQUIREMENTS.
 -THE BUILDING IS CLASSIFIED AS GROUP B, SINGLE-STORY, NON-SPRINKLERED

2. ACCESSIBILITY REQUIREMENTS

-ALL ELEMENTS OF THE FACILITY OPEN TO THE PUBLIC SHALL COMPLY WITH OSSC CHAPTER 11, ICC A17.1-2009, AND THE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN.

-AT LEAST ONE ACCESSIBLE ENTRANCE RESTROOM, ROUTE, AND PARKING STALL (VAN ACCESSIBLE) SHALL BE PROVIDED.

-ALL DOOR HARDWARE ON ACCESSIBLE DOORS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST (LEVER-TYPE OR PUSH/PULL HARDWARE REQUIRED)

-MINIMUM CLEAR OPENING WIDTH: 32" WITH DOOR OPEN 90 DEGREES.
 -MAXIMUM THRESHOLD HEIGHT: 1/2" (BEVELED IF OVER 1/4")

3. EGRESS AND LIFE SAFETY

-OCCUPANT LOAD IS CALCULATED AT 150 SF /PERSON: 26 OCCUPANT LOAD.

-AT LEAST ONE EXIT REQUIRED; TWO EXITS PROVIDED FOR COMPLIANCE AND REDUNDANCY.

-MEANS OF EGRESS ILLUMINATION SHALL BE PROVIDED FOR COMPLIANCE WITH TRAVEL DISTANCE AND REDUNDANCY.

-MEANS OF EGRESS ILLUMINATION SHALL BE PROVIDED PER OSSC SECTION 1008

-EXIT SIGNS AND EMERGENCY LIGHTING SHALL BE INSTALLED AT ALL EXIT ACCESS POINTS AND EXIT DISCHARGE LOCATIONS AND SHALL ILLUMINATE UPON LOSS OF POWER.

EMERGENCY LIGHTING SHALL BE PROVIDED IN CORRIDORS, LOBBIES, RESTROOMS, AND OTHER EXIT PATHWAYS, IN ACCORDANCE WITH OSSC SECTION 1008 AND NFPA 101

4. FIRE PROTECTION

-PER OSSC SECTION 903, AUTOMATIC SPRINKLERS ARE NOT REQUIRED DUE TO SIZE AND OCCUPANCY TYPE.

-FIRE EXTINGUISHERS SHALL BE PROVIDED PER OSSC SECTION 906 AND OFC SECTION 906

-MINIMUM 1-A: 10-B-C TYPE REQUIRED.

-TRAVEL DISTANCE TO EXTINGUISHERS SHALL NOT EXCEED 75 FEET.

-MOUNT EXTINGUISHERS WITH TOP NO HIGHER THAN 48" ABOVE FINISH FLOOR AND BOTTOM NOT LOWER THAN 4"

-WALL MOUNTED EXTINGUISHERS SHALL BE SHOWN ON THE FLOOR PLANS AND COORDINATED WITH FINAL FIRE DEPARTMENT REVIEW.

5. DOOR & HARDWARE REQUIREMENTS

-ALL EGRESS DOORS SHALL SWING IN THE DIRECTION OF EGRESS TRAVEL WHERE SERVING AN OCCUPANT LOAD OF 50 OR MORE (NOT APPLICABLE IN THIS CASE)

-ALL REQUIRED EXIT DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY, SPECIAL KNOWLEDGE, OR EFFORT (NO THUMB-TURN DEADBOLTS OR DOUBLE-CYLINDER LOCKS)

PANIC HARDWARE IS NOT REQUIRED (GROUP B - 50 OCCUPANTS)

-ALL INTERIOR DOORS ON ACCESSIBLE ROUTES MUST MEET MANUEVERING CLEARANCE PER ICC A117.1

6. STRUCTURAL DESIGN CRITERIA

GROUND SNOW LOAD: 20 PSF
 WIND LOAD: 115 MPH (VULT), EXPOSURE B OR C (SITE SPECIFIC)
 SEISMIC DESIGN CATEGORY: D1
 FLOOR LIVE LOAD: 50 PSF
 ROOF LIVE LOAD: 25 PSF
 RISK CATEGORY: II

7. ENERGY CODE COMPLIANCE

-BUILDING SHALL COMPLY WITH 2021 OEESC (BASED ON IECC 2021)

INSULATION, HVAC, LIGHTING AND BUILDING ENVELOPE PERFORMANCE SHALL MEET PRESCRIPTIVE OR PERFORMANCE PATH COMPLIANCE

LIGHTING CONTROLS, DAYLIGHTING ZONES AND OCCUPANCY SENSORS REQUIRED PER OEESC SECTION C405

8. GENERAL CONSTRUCTION NOTES

1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND CONDITIONS IN THE FIELD PRIOR TO CONSTRUCTION.

2. ALL PENETRATIONS THROUGH RATED ASSEMBLIES (IF ANY) MUST BE RESTOPPED WITH LISTED SYSTEMS PER OSSC CHAPTER 7

3. ALL MATERIALS AND EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURE'S INSTRUCTIONS AND APPLICABLE CODES.

4. ANY DEVIATION FROM APPROVED PLANS SHALL BE SUBMITTED TO DESIGN PROFESSIONAL AND AUTHORITY HAVING JURISDICTION (AHJ) FOR APPROVAL.

5. CONTRACTOR SHALL COORDINATE WITH UTILITIES FOR FINAL SERVICE CONNECTIONS.

**PLUMBING FIXTURE SCHEDULE
(TABLE 422.1-GROUP B OCCUPANCY)**

FIXTURE	REQUIRED QTY
WATER CLOSETS (WC)	2 (1 MALE, 1 FEMALE)
LAVATORY (LAV)	2 (1 MALE, 1 FEMALE)
DRINKING FOUNTAIN	1
MOP SERVICE SINK	1

PARKING REQUIREMENTS

VEHICLE PARKING REQUIREMENTS:
 PER JUNCTION CITY MUNICIPAL CODE 1790 AND SIMILAR DEVELOPMENT REVIEWS, OUTPATIENT MEDICAL/ DENTAL CLINICS REQUIRE:

-1 PARKING SPACE PER 600 SQ. FT. OF GROSS FLOOR AREA

-FOR 3880 SQ. FT: 3880 /600 = 6.47, ROUNDED UP TO 7 SPACES MINIMUM.

-RECOMMENDED PROVISION: ADD A BUFFER -8 TOTAL SPACES TO ENSURE COMPLIANCE AND ACCOMMODATE STAFF PATIENTS COMFORTABLY.

BICYCLE PARKING REQUIREMENTS:

-1 BICYCLE PER 10 VEHICLE SPACES

-PLAN FOR AT LEAST 1 SHORT-TERM BICYCLE PARKING SPACE, BUT IDEALLY 2 FOR FUTURE FLEXABILITY. 2 PROVIDED.



LEGAL DESCRIPTION

TAX MAP #: 15-04-32-24
 TAX LOT #: 09300
 LOT #: 9300
 ADDRESS: NO SITE ADDRESS, JUNCTION CITY, OR, 97488
 ACREAGE: .17
 ZONING: C-COMMERCIAL



GENERAL LANDSCAPE DESIGN NOTES

1. ALL WORK SHALL CONFORM TO LOCAL CODES AND ORDINANCES INCLUDING ZONING, IRRIGATION PLANTING AND WATER CONSERVATION REQUIREMENTS
2. ALL PLANT MATERIALS SHALL BE HEALTHY AND NURSERY-GROWN, FREE OF PESTS AND DISEASE, AND CONFORM TO AMERICAN STANDARD FOR NURSERY STOCK.
3. VERIFY ALL EXISTING SITE CONDITIONS PRIOR TO INSTALLATION. ANY DISCREPANCIES MUST BE REPORTED TO THE LANDSCAPE DESIGNER OR PROJECT MANAGER BEFORE PROCEEDING.
4. SUBGRADE SHALL BE PROPERLY PREPARED AND COMPACTED TO 90% MODIFIED PROCTOR DENSITY BEFORE INSTALLATION OF PLANTING SOIL OR SOD.
5. PLANTING SOIL MIX SHALL BE A FERTILE, FRIABLE LOAM FREE OF DEBRIS, ROCKS, AND CLAY, AMENDED WITH COMPOST AND SAND PER SPECIFICATIONS.
6. MULCH ALL PLANTING BEDS WITH 2-3 INCH LAYER OF SHREDDED HARDWOOD MULCH, KEEPING MULCH CLEAR OF PLANT STEMS AND TRUNKS.
7. TREES SHALL BE STAKED OR GUYED AS REQUIRED TO ENSURE STABILITY UNTIL ESTABLISHED TYPICALLY FOR ONE GROWING SEASON.
8. IRRIGATION SYSTEM IF INCLUDED SHALL PROVIDE 100% COVERAGE WITH MATCHED PRECIPITATION HEADS AND SMART CONTROLLER. TEST SYSTEM UPON COMPLETION.
9. TURF AREAS SHALL BE SODDED OR SEEDED WITH SPECIFIED GRASS MIX AND WATERED UNTIL FULLY ESTABLISHED.
10. CONTRACTOR SHALL MAINTAIN ALL PLANTING AND TURF AREAS FOR A MINIMUM OF 60 DAYS AFTER FINAL ACCEPTANCE, INCLUDING WATERING, WEEDING AND REPLACING DEAD PLANT MATERIAL.
11. NO SUBSTITUTIONS OF PLANT SPECIES OR SIZES SHALL BE MADE WITHOUT PRIOR APPROVAL OF LANDSCAPE DESIGNER.
12. ALL PLANTING SHALL BE LOCATED ACCORDING TO PLAN. ADJUSTMENTS MAY BE MADE IN FIELD WITH APPROVAL TO AVOID UTILITY CONFLICTS.
13. ALL DISTURBED AREAS SHALL BE RESTORED TO PRE-CONSTRUCTION CONDITION OR BETTER, INCLUDING SOIL STABILIZATION AND EROSION CONTROL.
14. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ALL EXISTING TREES AND VEGETATION NOT MARKED FOR REMOVAL.

LANDSCAPE KEY

- CREEPING JUNIPER
- BOXWOOD
- CRYPTOMERIA
- AZALEA
- YEWE
- DOGWOOD
- GRASS

SITE PLAN

SCALE: 1/8" = 1' - 0"

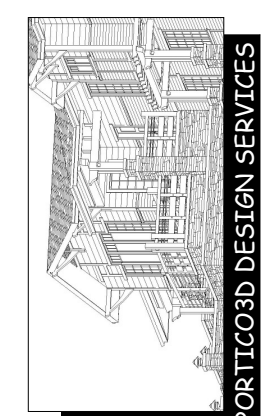
PAGE SCHEDULE

- PAGE C5: CODE SUMMARY, PAGE SCHEDULE, SITE PLAN, VICINITY MAP
- PAGE A1: ELEVATIONS
- PAGE A2: PROPOSED FLOOR PLAN
- PAGE A3: FOUNDATION PLAN AND DETAILS
- PAGE A4: ROOF FRAMING PLAN
- PAGE A5: SECTION & WALL DETAILS
- PAGE A6: REFLECTED CEILING PLAN & EGRESS PLAN
- PAGE A7: ACCESSIBILITY DETAILS

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DRAWING(S): GENERAL NOTES, SITE PLAN, ENERGY CONSERVATION, PAGE SCHEDULE, CODE SUMMARY, VICINITY MAP
 SCALE: 1/8" = 1' - 0"
 DATE: 6-13-25
 DRAWN BY: JMR
 NOTED



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