



CITY OF JUNCTION CITY
PLANNING & BUILDING DEPARTMENT

**FLOOD ZONE DEVELOPMENT
PERMIT APPLICATION PACKET
TYPE I LAND USE**

- Submit your completed application packet with documentation to Planning at 1171 Elm Street
- Payment of the base fee is due at the time an application is submitted.
- If you have questions, contact the Permit Technician, Dawn Northey at 541-998-4763 or jcplanning@ci.junction-city.or.us



CITY OF JUNCTION CITY TYPE I LAND USE APPLICATION

1171 Elm Street/PO Box 250 Junction City OR 97448
Ph 541-998-4763 ■ jcplanning@ci.junction-city.or.us ■ www.junctioncityoregon.gov

The base fee is due at the time an application is submitted. See Table below for fees. Additional fees may apply.

Type I applications are reviewed by City staff with the exception of Subdivision Final Plats (Planning Commission). An applicant may appeal a decision under Junction City Municipal Code (JCMC) 17.150.120. A Type I review takes approximately 30 days once the application is determined to include sufficient information to conduct the review.

Note: Review may reveal additional requirements. Concurrent review of other applications is at the applicant's own risk.

Table 1

Land Use Application	Municipal Code Requirements/Criteria/Supplemental Materials	Base Rate
Change of Use	1. Land Use Application 2. Supplemental Application - Change of Use 3. Junction City Municipal Code, Title 17 applicable to proposal 4. Oregon Building Codes applicable to proposal	\$80 plus any required building permits
Development Review	1. Land Use Application 2. Supplemental Checklist - Development Review 3. JCMC 17.160; 17.85; & 17.90 JCMC 4. Zoning Requirements applicable to proposal/subject site	New Development \$1,070
		Remodel or Addition \$250
Flood Zone Development Review	1. Land Use Application 2. Supplemental Application - Flood Zone Development Permit 3. JCMC 17.80 4. Current Oregon Structural Specialty Code, Appendix G http://ecodes.biz/ecodes_support/free_resources/Oregon/14_Structural/PDFs/Appendix%20G%20-%20Flood-Resistant%20Construction.pdf	\$100 plus any required building permits
Lot Line Adjustment	1. Land Use Application 2. Oregon Revised Statutes, Chapter 92 https://www.oregonlegislature.gov/bills_laws/ors/ors092.html	\$230
Non-Conforming Use	1. Land Use Application 2. JCMC 17.125	\$130
Permitted Activities w/in Wetland Protection Area	1. Land Use Application 2. JCMC 17.60	\$1,630
Sign Permit (including Billboards)	1. Land Use Application 2. Supplemental Application - Sign Permit 3. JCMC 17.115	\$75 plus any required building permits
Subdivision: Final Plat	1. Land Use Application 2. JCMC 16.05 (Planning Commission Review)	\$1,760
Variance - Minor	1. Land Use Application 2. JCMC 17.140	\$325
Wetland Resource Overlay District Map Correction	1. Land Use Application 2. JCMC 17.60	\$950

Contact the Planning Technician for further information about criteria/requirements – 541-998-4763

City of Junction City

LAND USE APPLICATION – TYPE I

Table 2

Land Use Review Classifications – Refer to JCMC 17.150.070

	Type I	Type II	Type III Public Hearing	Type IV Public Hearings
Administrative Decision (City Administrator or Designee) Exception: Final Subdivision Plats are reviewed by the Planning Commission (Decision can be appealed to Planning Commission)	X			
Planning Commission Decision (No public hearing however one can be requested) (Decision can be appealed to City Council)		X		
Planning Commission Public Hearing and Decision (Decision can be appealed to City Council)			X	
Planning Commission Public Hearing and recommendation to City Council; City Council Public Hearing and Decision (Appealed to Oregon Land Use Board of Appeals)				X

Table 3

Land Use Application Review Steps

	Type I	Type II	Type III Public Hearing	Type IV Public Hearings
1. Land Use application submitted	X	X	X	X
2. Completeness Review to determine if all necessary information is included with application (14-30 days)	X	X	X	X
3. Application is incomplete, necessary information is requested from applicant/representative (application on hold)	X	X	X	X
4. Application is deemed complete and applicant/representative notified	X	X	X	X
5. Tentative date set for application to go before the Planning Commission	X <small>Final Plat</small>	X	X	X
6. Tentative date set for application to go before the City Council				X
7. Department of Land Conservation & Development (DLCD) 35-day notice			X <small>Amendment only</small>	X <small>Amendment only</small>
8. Referrals sent to City Departments and outside agencies for their review (14-21 day response period, 30 days if Wetlands involved)	X	X	X	X
9. Opportunity to Comment mailed to property owners w/in 300-feet of subject site (may run concurrent w/ Referrals) (20-40 days before meeting)		X		
10. Planning Commission Notice of Public Hearing mailed to property owners within 300-ft of subject site (may run concurrent with referrals) (20-40 days prior to public hearing)			X	
11. Planning Commission review and decision	X <small>Final Plat</small>	X	X	
12. Planning Commission Recommendation to City Council			X <small>Map Amendment</small>	X
13. City Council Notice of Public Hearing mailed to property owners within 300-ft of subject site (may run concurrent with referrals) (20-40 days prior to public hearing)				X
14. City Council review and decision			X <small>Map Amendment</small>	X
15. Letter of Decision, with supporting documentation, sent to applicant/representative (w/in 5 business days of decision)	X	X	X	X
16. Appeal Period begins day notice is sent to applicant/representative	X	X	X	X
17. Decision becomes final (unless appealed)	X	X	X	X

* Junction City Municipal Code 17.150.130 states multiple land use applications may be applied for at one time. An applicant may request reviews be conducted parallel to one another, or concurrently. If reviewed concurrently, they will be reviewed under the highest Land Use classification (i.e. a Type I review application concurrent with a Type IV, both are reviewed as a Type IV).



CITY OF JUNCTION CITY LAND USE APPLICATION

1171 Elm Street/PO Box 250 Junction City OR 97448
 Ph 541-998-4763 ■ jcplanning@ci.junction-city.or.us ■ www.junctioncityoregon.gov Fpp-24-15

Date Submitted: 5.16.2024	Received By: Dawn	Fee Paid: \$ waived	Supplemental Application:
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Section 1
LAND USE ACTION (SEE TABLE 1):

Section 2

Site Address: Bailey Park, Junction City	Location Description: Bailey Park
Property Size: 1.35 AC	Assessor's Map & Tax Lot #: Map #16040522 Tax Lot #4500
Present Use: City Park	Proposed Use: City Park
Brief Summary of Action Requested: See Narrative	
Are there other permit applications associated with this application? If yes, list:	

Section 3

I have the following legal interest in the property (Circle one):

Owner of Record
 Lessee
 Contract Purchase
 Holder of an exclusive Option to Purchase

Written authorization from the owner to act as his/her agent must be provided if not the owner of record

Section 4

Applicant: Zack Hartman (HBH Consulting Engineers on behalf of City of Junction City)

Address: 501 E First St, Newberg, OR 97132

Phone: 541-778-5622 **E-Mail:** zhartman@hbh-consulting.com

Property Owner: Gary Kaping, City of Junction City

Address: 680 Greenwood St, Junction City, OR 97448

Phone: (541) 998-2153 **E-Mail:** GKaping@ci.junction-city.or.us

Contact:
(if different than Applicant)

Address:

Phone: **E-Mail:**

**City of Junction City
LAND USE APPLICATION**

Section 5	
Required Information	
	Written statement describing proposal in detail
	Narrative Statement explaining how the application complies with all relevant criteria with enough detail for review and decision-making. <i>Note: See Type I information, at the beginning of this packet, for the municipal code chapters and/or sections related to your land use request</i>
	Three (3) paper copies of application packet including any plan sets
	Digital copy of application packet including any plan sets
	Non-refundable Application Fee

Section 6		
Supplemental Application:	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
Attachment(S):	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>

Section 7	
Your signature below acknowledges the following:	
<p>1. Payment of the base fee may not cover the City's costs associated with processing the Application. <i>Per Resolution 1053: All direct costs for contracted services shall be charged monthly to the applicant in the amount billed to City. Contracted city services include, but are not limited to, city engineer, city attorney, building inspector, traffic consultant, &/or wetlands specialist. Direct costs 30 days past due shall be charged 9% interest in addition to the amount billed to the City.</i></p>	
<p>2. The foregoing statements and other information attached hereto are true and accurate to the best of my knowledge and belief.</p>	
<p>3. Signer agrees to pay all direct costs associated with processing this land use application.</p>	
Applicant Signature:	
Date:	



CITY OF JUNCTION CITY LAND USE APPLICATION FLOOD ZONE DEVELOPMENT

1171 Elm Street/PO Box 250 Junction City OR 97448

Ph 541-998-4763 jcplanning@ci.junction-city.or.us ■ www.junctioncityoregon.gov

Date Submitted: 5-16-24	Received By: JASON JOHANNESSEN	Fee Paid: \$	File #: FPP-24-15
Approved: Yes <input checked="" type="checkbox"/> No	Conditions of Approval: None	Date:	Local Administrator: Dave Flemings JASON JOHANNESSEN

Attach drawings or additional sheets needed to provide information showing compliance with Junction City Municipal Code 17.80. The code can be viewed at www.junctioncityoregon.gov. Three (3) sets of building plans including site plan must be submitted with this application. The Site plan must show the nature, location, dimensions, and elevations of the area in question; existing or proposed structures, fill, storage of materials, and drainage facilities.


ELEVATION CERTIFICATE is required prior to final inspection.

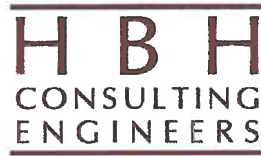
Site Address: Bailey Park, Junction City	
Special Flood Hazard Zone: ZONE A	FIRM Map # & Panel: MAP #41039C0604F PANEL #64
Base Flood Elevation: 328 (ESTIMATED)	Lowest Floor Elevation (include Crawl Space or basement): 331
Are other federal, state, or local permits obtained? If yes, describe: NO	
Contractor: PACIFIC EXCAVATION	Contractor Phone: 541-619-4196
Contact Address: 79 N Danebo Ave, Eugene, OR 97402	Contractor Email: Beau@pacificexc.com

Building Plan Must Show:

- ▶ Anchoring to prevent flotation, collapse, or lateral movement of the structure
- ▶ Construction materials and methods used to resist flood damage
- ▶ Design & location (include elevation) of Electrical, ventilation, plumbing, heating/cooling systems prevent water entrance/accumulation within the components during flood conditions.
- ▶ Elevations at the corners of proposed building/addition
- ▶ Fully enclosed areas below the lowest floor, show entrance/exit of floodwaters (Automatic equalization of hydrostatic flood forces on exterior walls)

The undersigned hereby makes application for a permit to develop in a designated floodplain area. The work to be performed is described below and in attachments. The undersigned agrees that all such work shall be done in accordance with the requirements of the City of Junction City Flood Hazard Code and with all other applicable local, state and federal regulations. This application does not create liability on the part of the City of Junction City or any officer or employee thereof for any flood damage that results from reliance on this application or any administrative decision made lawfully hereunder.

Applicant Signature: 
Date: 5-16-24



501 E First Street
Newberg, Oregon 97132
503/554-9553 · Fax 503/537-9554



EXPIRES 8/30/2025

FLOOD ZONE DEVELOPMENT NARRATIVE

Date: **May 16, 2024** Project Number: **2013-007.34**
To: **Jason Johannesen, Junction City Building Inspector**
CC: **Gary Kaping, Junction City Public Works Director**
From: **Zack Hartman, PE**
RE: **Bailey Park Well Flood Zone Development Narrative**

Project Overview

The proposed project is a new municipal well to provide clean drinking water to the City of Junction City. The project is located at Bailey Park, a public park in Junction City, and includes a new well, a 30'x18' CMU disinfection building, water and sewer piping, electrical service, an asphalt driveway, a concrete sidewalk, chain link fencing, and site grading (See Appendix A – Grading Plan).

Flood Zone

As shown in Figure 1 below, Bailey Park, the proposed project is located in a Zone A Special Flood Hazard Area Flood Zone (see Appendix B Flood Plane Map 41039C0604F).



Figure 1 Flood Map

There are no base flood elevations determined for Zone A Flood Zones, and no authoritative sources that have established a base flood elevation for this site. Based on a topographic survey (see Appendix B), the northern and western edges of Bailey Park have an elevation of approximately 328 feet and are approximately aligned with the northern and western edges of the Flood Hazard Area; therefore, it is assumed the base flood elevation for the area is approximately 328 feet.

Applicable Code Requirements

Junction City Municipal Code (JCMC) 17.80.050.A.5:

Where elevation data is not available either through the flood insurance study or from another authoritative source (JCMC 17.80.040(C)(2)), applications for development permits shall be reviewed to assure that proposed construction will be reasonably safe from flooding. The test of reasonableness is a local judgment and includes use of historical data, high water marks, photographs of past flooding, etc., where available.

JCMC 17.80.050.A:

Construction of new critical facilities shall be, to the extent possible, located outside the limits of the special flood hazard area (SFHA) (100-year floodplain). Construction of new critical facilities shall be permissible within the SFHA if no feasible alternative site is available. Critical facilities constructed within the SFHA shall have the lowest floor elevated three feet above BFE or to the height of the 500-year flood, whichever is higher.

Engineering

As shown in Figure 2 below, the proposed building is located at the existing high point of Bailey Park, to the west of the northwest corner of the tennis court, where the existing grade is 330 feet (see Appendix C Topographic Survey).

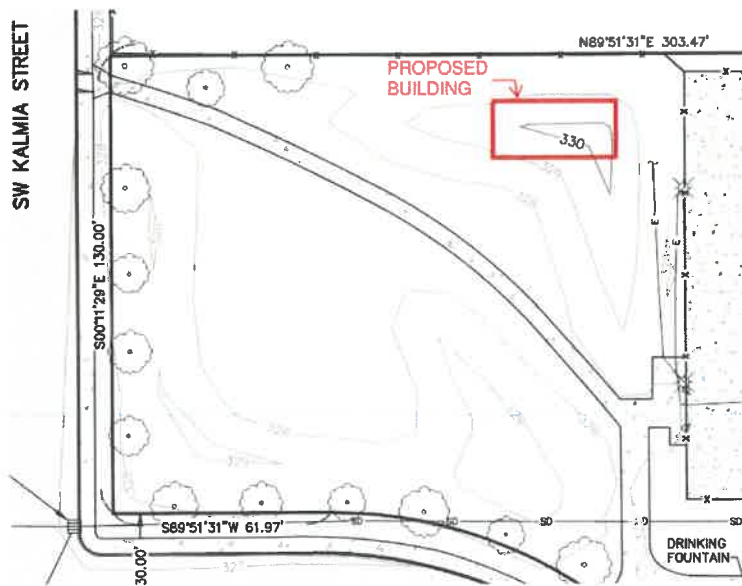


Figure 2 Bailey Park Topographic Survey with Proposed Building Location

In addition to locating the building at the highest point of the existing site, the site has been graded to raise the finished floor elevation of the proposed building to 331 feet, three feet higher than the assumed base flood elevation of 328 feet. As shown in Figure 3 below, the building area has been raised but other areas of the site have been lowered to achieve a balanced cut and fill.

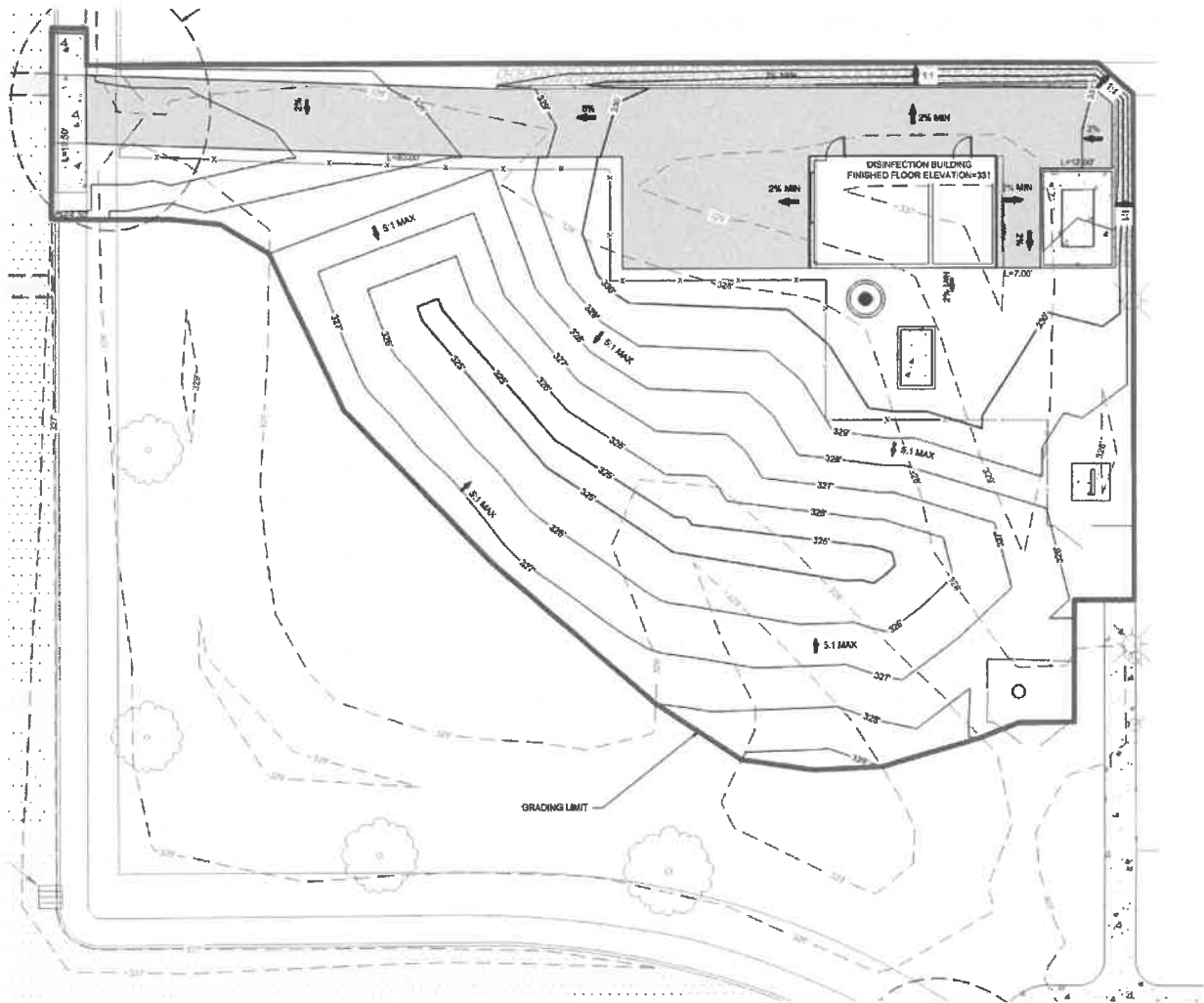


Figure 3 Proposed Building Grading (snapshot from Appendix A – Grading Plan)

Conclusion

The proposed Bailey Park Well Disinfection Building shall be safe from flooding because the finished floor elevation is three feet above the presumed base flood elevation. Once construction is complete, a Letter of Map Revision Based on Fill (LOMR-F) will be submitted to FEMA to waive flood insurance requirements.

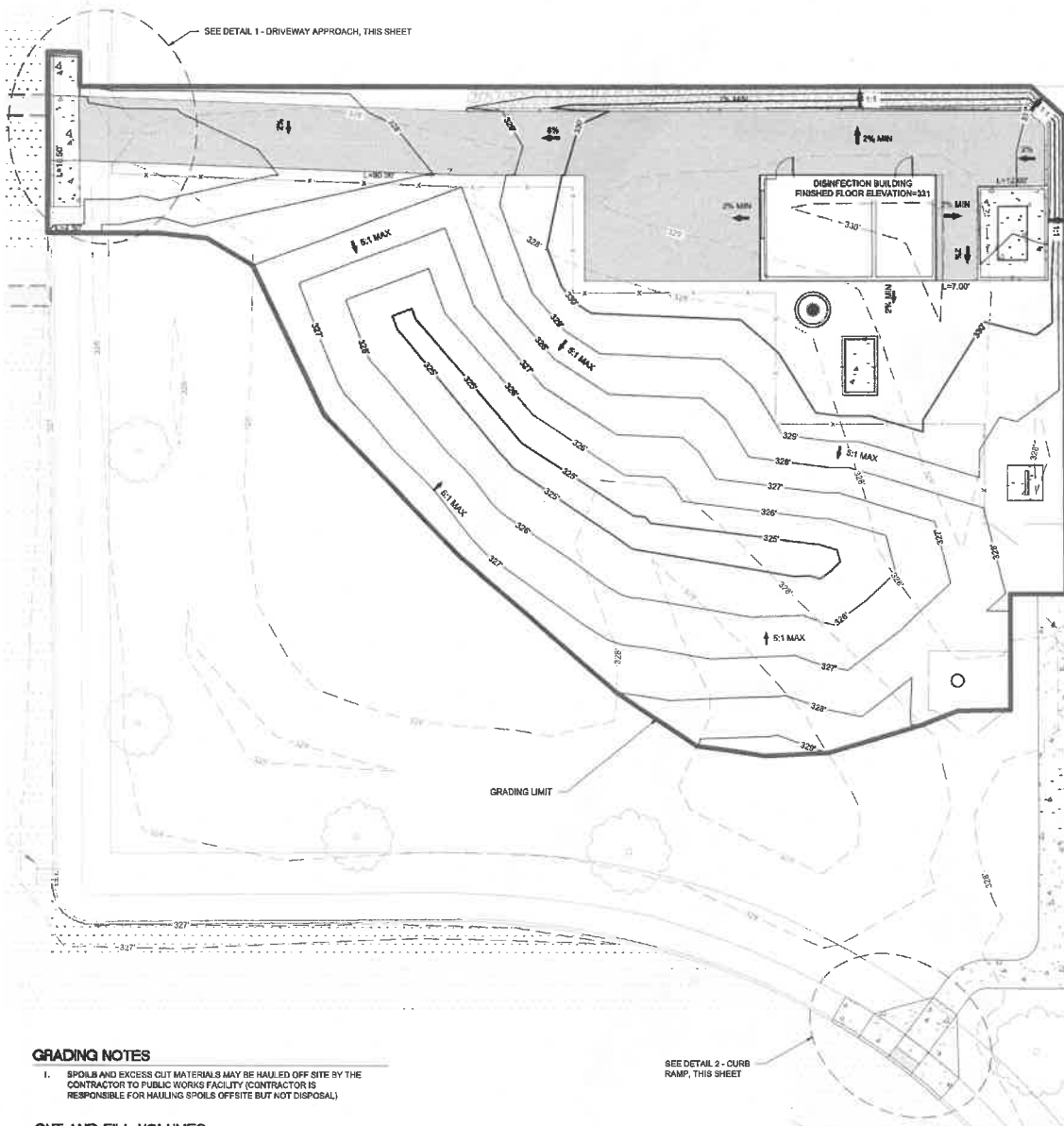
APPENDICES:

APPENDIX A – GRADING PLAN

APPENDIX B – FLOOD PLANE MAP 41039C0604F

APPENDIX C – TOPOGRAPHIC SURVEY

APPENDIX A - GRADING PLAN



GRADING NOTES

- SPOILS AND EXCESS CUT MATERIALS MAY BE HAULED OFF-SITE BY THE CONTRACTOR TO PUBLIC WORKS FACILITY (CONTRACTOR IS RESPONSIBLE FOR HAULING SPOILS OFF-SITE BUT NOT DISPOSAL)

CUT AND FILL VOLUMES

CUT=478 CY
 FILL=475 CY
 NET CUT/FILL=0 CY

SEE DETAIL 2 - CURB RAMP, THIS SHEET

DETAIL 1 - DRIVEWAY APPROACH
 SCALE: 1" = 5'

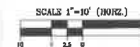
DETAIL 2 - CURB RAMP
 SCALE: 1" = 5'

DETAIL LEGEND

- TRUNCATED DOME DETECTABLE WARNING SURFACE
- SLOPE 1.5% MAX
- SLOPE 7.5% MAX (OR AS SHOWN)

BAILEY PARK WELL PAVING AND GRADING PLAN

SCALE: 1" = 10'



H B H
 CONSULTING ENGINEERS
 501 E First Street
 Newberg, Oregon 97132
 503/554-9553 Fax: 503/537-9554
 email: mail@hbh-engineers.com

REV.	DATE	DESCRIPTION	BY
01	3/27/24	ADDENDUM 1	ZHH
02	5/15/24	CHANGE ORDER 1	ZHH

CITY OF JUNCTION CITY
 101 E. 1ST - JUNCTION CITY 05 1145
**BAILEY PARK WELL - DISINFECTION
 SW JUNIPER ST + BRYANT ST, JUNCTION CITY OR
 GRADING AND ACCESS
 ROAD PAVING PLAN**

Scale: 1" = 10' (HORIZ.)
 Date: 5/15/2024
G4
 7 of 31
 2013-007.34

