



CITY OF JUNCTION CITY LAND USE APPLICATION

1171 Elm Street/PO Box 250 Junction City OR 97448

Ph 541-998-4763 ■ jcplanning@ci.junction-city.or.us ■ www.junctioncityoregon.gov

Date Submitted: 2/15/2024	Received By: Dawn Northey	Fee Paid: \$ 75	Supplemental Application: Sign Permit
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Section 1

LAND USE ACTION (SEE TABLE 1):
Type I Sign Permit

Section 2

Site Address: 495 Holly St.	Location Description: West Facing Wall
Property Size: 0.57 acre	Assessor's Map & Tax Lot #: 1504323407200
Present Use: Restaurant / Food trucks	Proposed Use: same
Brief Summary of Action Requested: install lottery sign to West facing wall, wall sign	
Are there other permit applications associated with this application? If yes, list:	

Section 3

I have the following legal interest in the property (Circle one):

Owner of Record Lessee Contract Purchase Holder of an exclusive Option to Purchase

Written authorization from the owner to act as his/her agent must be provided if not the owner of record

Section 4

Applicant: Carrick Inc

Address: 4875 NW Kahneeta Dr. Portland, OR

Phone: 808.391.8308 **E-Mail:** amanda@carrickinc.org

Property Owner: Velazco De Dios Abraham

Address: 898 S 32nd Pl Springfield, OR

Phone: **E-Mail:**

Contact:
(if different than Applicant)

Address:

Phone: **E-Mail:**

**City of Junction City
LAND USE APPLICATION**


Section 5	
Required Information	
	Written statement describing proposal in detail
	Narrative Statement explaining how the application complies with all relevant criteria with enough detail for review and decision-making. <i>Note: See Type I information, at the beginning of this packet, for the municipal code chapters and/or sections related to your land use request</i>
	Three (3) paper copies of application packet including any plan sets
	Digital copy of application packet including any plan sets
	Non-refundable Application Fee

Section 6		
Supplemental Application:	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>
Attachment(S):	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>

Section 7

Your signature below acknowledges the following:

- Payment of the base fee may not cover the City's costs associated with processing the Application.**
Per Resolution 1053: All direct costs for contracted services shall be charged monthly to the applicant in the amount billed to City. Contracted city services include, but are not limited to, city engineer, city attorney, building inspector, traffic consultant, &/or wetlands specialist. Direct costs 30 days past due shall be charged 9% interest in addition to the amount billed to the City.
- The foregoing statements and other information attached hereto are true and accurate to the best of my knowledge and belief.*
- Signer agrees to pay all direct costs associated with processing this land use application.*

Applicant Signature: 

Date: 1/23/2024



CITY OF JUNCTION CITY LAND USE APPLICATION

SIGN PERMIT

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Date Submitted: 2/15/2024	Received By: Dawn Northey	Fee Paid: \$75	File #: S-24-05
Property Description	Map No. 15-04-32-34	Tax Lot(s): 07200	
	Allowable Area: Wall Signs Exempt	Area Approved: 6.25 SF	
Zoning District: Central Commercial (C2)	Approved By: <i>Chloe Trifilio</i>	Date Approved: 2/16/2024	

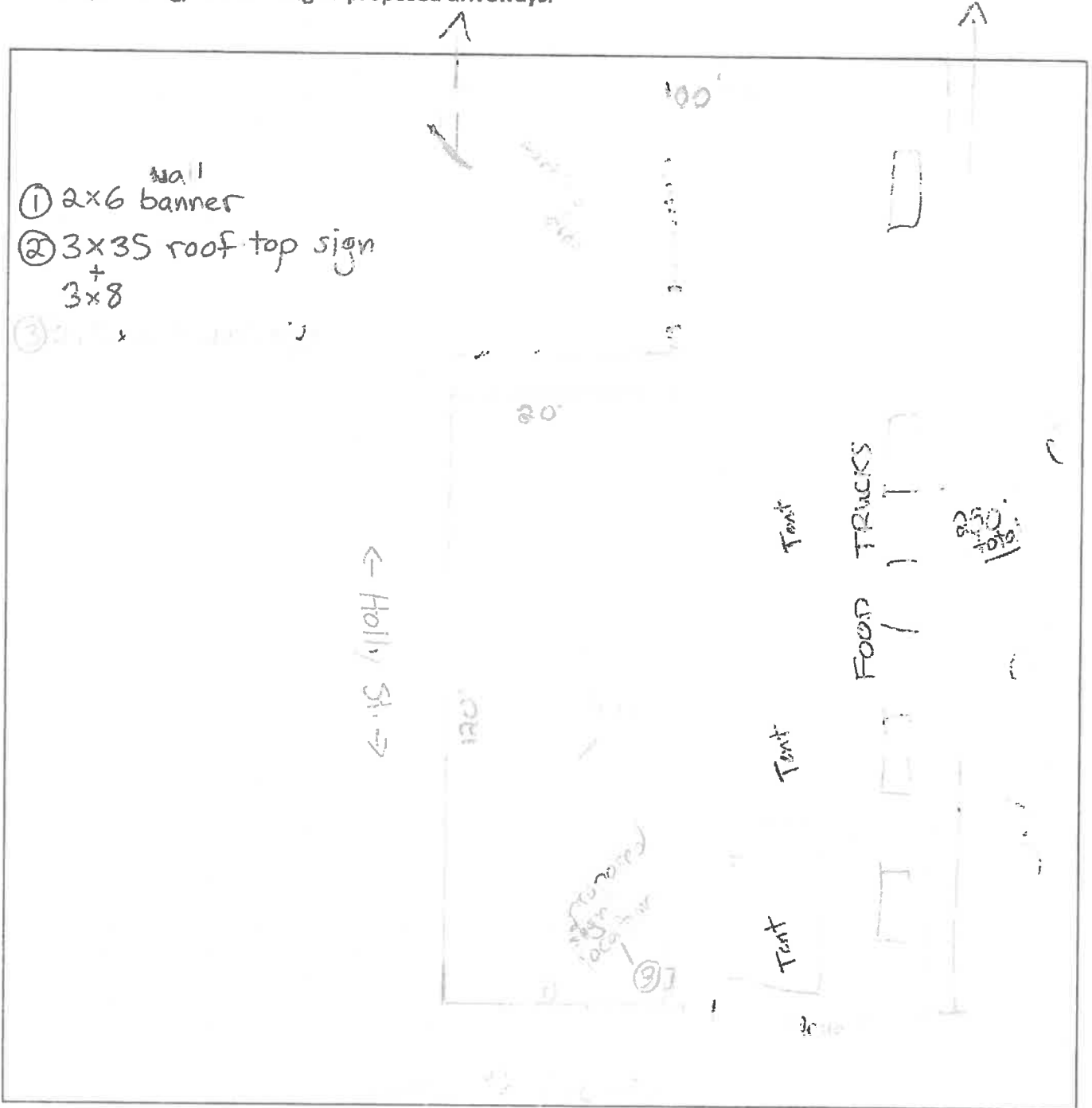
Sign standards; see Junction City Municipal Code Chapter 17.115. The Sign Code is available on-line at www.junctioncityoregon.gov. Contact the Planning Department at 541-998-4763 with sign permit questions. **Complete all fields on the application form below and on reverse.**

Site Address: <i>495 Holly St.</i>			
Contractor: <i>Carrick Inc.</i>		Contractor Phone: <i>808-391-8308</i>	
Contact Address: <i>4875 NW Kehneeta Dr. Portland, OR</i>		Contractor Email: <i>amanda@carrickinc.org</i>	
Electrical Permit Required: Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> If yes, Electrical permit required	Sign Type: <input type="checkbox"/> Ground* <input type="checkbox"/> Projecting* <input type="checkbox"/> Roof* <input checked="" type="checkbox"/> Wall* <input type="checkbox"/> Free Standing*	*May require a building permit	
Sign Dimensions in feet: Horizontal: <i>2.5</i> Vertical: <i>2.5</i> Number of Faces: <i>1</i> Total Sign Area: <i>6.25</i> sq. ft.			
Height to bottom of sign: <i>5'</i>		Lot Frontage: <i>250'</i>	Building Frontage: <i>120'</i>
Pre-Existing Signs to Remain? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No List signs to remain and dimension(s) of each <i>① Banner 2x6</i> <i>② Roof top 3x35 + 3x8</i>			
I, the undersigned applicant to hereby swear or affirm that the above information is true and correct to the best of my knowledge in accordance with the ordinances of the City of Junction City, and the sign shall be constructed in conformance with the requirements of the Uniform Sign Code.			
Signature of Applicant: <i>[Signature]</i>		Date: <i>1/23/2024</i>	

Daily Display Signs in Right-of-Way Only	
Applicant agrees to hold harmless and indemnify the City of Junction City, Oregon from any and all liability for injury to persons or property occurring as a result of the sign placed in the right-of-way.	
Signature of Applicant	Date

Site Plan

Please sketch or attach a drawing detailing sign dimensions and the location in relation to the property lines, building, and existing or proposed driveways.



495 Holly St.
Junction City, OR

2'6"

white



Red

OREGON

Black

LOTTERY™

6" depth

2'6"

OREGON LOTTERY SIGN
GENERAL SIGN SPECIFICATIONS

Dimensions

Width 30" (2.5')
Height 30" (2.5')
Depth 6" (.5')

Weight

LED Sign

22 LBS with (1) faceplate & (1) backplate .

Sign Construction

1/8" extruded aluminum with two stiffener walls used for the wiring channel

Externally welded corners reinforced with 1/8" 1"x1"x2" aluminum angle welded into the internal corners of the sign channel

Captive channels both front and back for face or back plates

Faceplate 29.875"x29.875"x 1/8" Polycarbonate

Backplate 29.875"x29.875"x1/16" Aluminum

Manufacturer

May Advertising

PO Box 161769

Fort Worth, Texas

1-800-800-4629

UL Listing

Electric Sign

120Volt

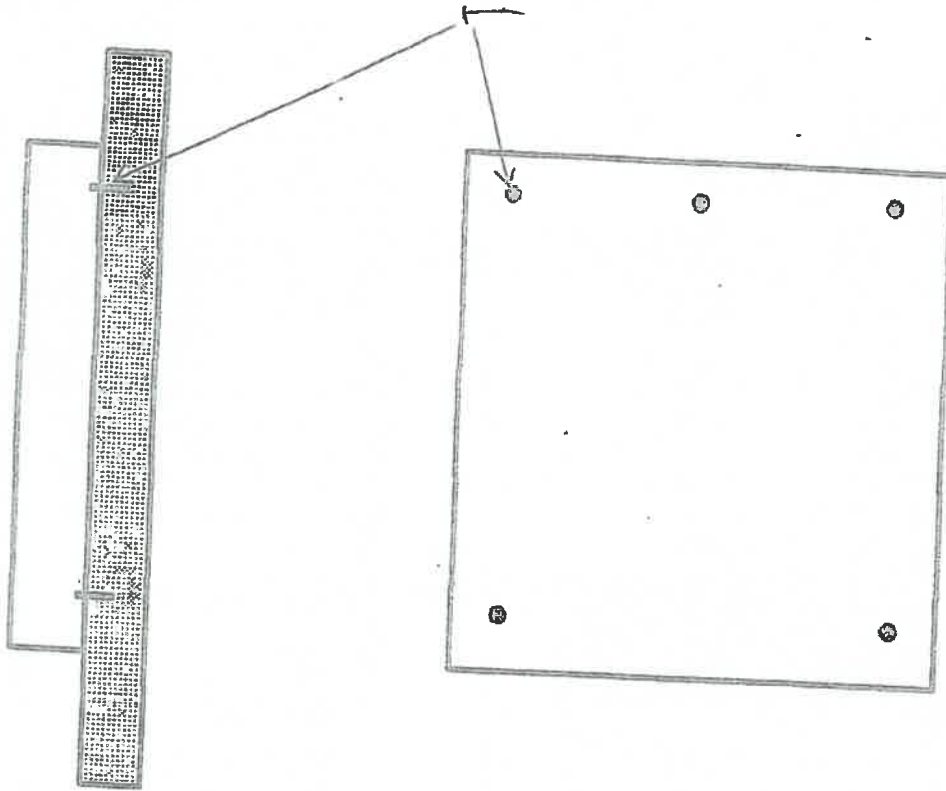
Standard H.O. 3 Amps/ LED 66Watts

No. BP-167096

Lottery Sign

Wall Mount Fasteners

(5) #10 X 2" Screws in wood or equal







495 Holly Street Sign Permit - C2 Central Commercial - S-24-05

Criteria in **bold**.

17.115.050 General sign regulations.

No sign governed by the provisions of this chapter shall be erected, structurally altered, or relocated without first receiving a sign permit from the city of Junction City.

A. Installation Requirements. All signs shall comply with the following requirements and those specified by zoning district:

1. Construction shall satisfy the requirements of the Uniform Sign Code.

Building Dept. reviews.

2. Electrical requirements for signs shall be governed by the National Electrical Code and Oregon Electrical Specialty Code Amendments.

Building Dept. reviews.

3. Except for exempt signs and approved daily display signs, all signs shall be securely attached to a building or the ground.

Building Dept. reviews.

4. All signs shall conform to all vision clearance requirements.

This is on an existing building, not in a vision clearance area.

5. All signs together with their supports, braces, and guys shall be maintained in a safe and secure manner.

Building Dept. reviews.

6. All illuminated signs shall be internally or indirectly illuminated.

Proposed sign is internally illuminated (LED sign).

G. Wall Signs. All wall signs shall conform to the following provisions:

1. Wall signs may be attached flat to or pinned away from the wall, but shall not project more than 12 inches from the wall

The proposed sign appears to project no more than 12 inches (depth of sign is 6" and 1/8" extruded aluminum fastener)

2. For purposes of this chapter, wall signs shall be exempt from the area limitations in calculating allowable sign area.

No area limitations.

3. Wall signs shall not extend above the height of the wall to which it is attached.

Proposed sign does not extend above the height of the wall.

17.115.080 Commercial – Industrial – Technological.

A. General. This section of the sign ordinance shall apply to all commercial, industrial, and technological districts.

B. Size. The size of allowable area of signs shall be as follows:

Exempt by 17.115.050(G)(2) above.

C. Location. Except as otherwise provided, permitted signs may be located anywhere on the premises.

1. Where frontage is on more than one street, only the signs computed with the frontage of that street shall be located on that street.

Proposed sign is not along street frontage.

D. Limitations in C2 Zone. Signage in the C2 zone shall be pedestrian-scaled and located so as to be legible to pedestrians on the sidewalks. C2 signage shall conform to the following standards:

1. Wood, metal, or other natural material is the recommended material for the sign.

Aluminum sign is not street-facing.

2. Whenever possible, sign graphics shall be carved, applied, painted, or stained.

Prefabricated sign proposed.

3. The number of colors used on a sign shall be minimized for maximum effect. A maximum of four colors, including the background color, is permitted.

Only 3 colors proposed.

4. Sign illumination shall be subdued and indirect, with the exception of internally lit signs that shall be a maximum of 12 square feet.

Proposed sign is internally lit.

5. Projecting (blade) signs are encouraged, especially along 6th Street, preferably suspended from an awning, and should not exceed 12 square feet per face. No projecting signs should be used above the first story.

Not applicable.

6. Wall-mounted signs are encouraged, but shall not exceed an area of 10 percent of the wall to which the sign is attached or 32 square feet in size.

Proposal meets this criteria but it is also exempt by 17.115.050(G)(2) above.

Proposed sign meets the applicable criteria.