



CITY OF JUNCTION CITY
PLANNING & BUILDING DEPARTMENT

SIGN PERMIT APPLICATION PACKET
TYPE I LAND USE

- Submit your completed application packet with documentation to Planning at 1171 Elm Street
- Payment of the base fee is due at the time an application is submitted.
- If you have questions, contact the Permit Technician, Dawn Northey at 541-998-4763 or jcplanning@ci.junction-city.or.us

Staff Contact: Permit Technician, Dawn Northey

Planning ■ 1171 Elm Street/PO Box 250 Junction City OR 97448

Ph 541-998-4763 ■ jcplanning@ci.junction-city.or.us ■ www.junctioncityoregon.gov



JUNCTION CITY PLANNING TYPE I LAND USE APPLICATION

1171 Elm Street/PO Box 250 Junction City OR 97448

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The application fee is due at the time an application is submitted. Additional fees may apply.

Type I applications are reviewed by City staff with the exception of Subdivision Final Plat applications which are reviewed by the Planning Commission.

Note: Review may reveal additional requirements. Concurrent review of other applications is at the applicant's own risk.

Table 1		
Land Use Application	Municipal Code Requirements/Criteria/Supplemental Materials	Base Rate
Change of Use	1. Land Use Application 2. Supplemental Application - Change of Use 3. Junction City Municipal Code, Title 17 applicable to proposal 4. Oregon Building Codes applicable to proposal	\$250 plus any required building permits
Development Review	1. Land Use Application 2. Supplemental Checklist - Development Review 3. JCMC 17.160; 17.85; & 17.90 JCMC 4. Zoning Requirements applicable to proposal/subject site	New Development \$1,070
		Remodel or Addition \$250
Final Partition Plat	1. Land Use Application 2. JCMC 16.05 (Planning Commission Review)	\$745.00
Flood Zone Development Review	3. Land Use Application 4. Supplemental Application - Flood Zone Development Permit 5. JCMC 17.80 6. Current Oregon Structural Specialty Code, Appendix G http://ecodes.biz/ecodes_support/free_resources/Oregon/14_Structural/PDFs/Appendix%20G%20-%20Flood-Resistant%20Construction.pdf	With a Structure \$500.00
		Without a Structure \$300.00
Lot (Property) Line Adjustment	1. Land Use Application 2. JCMC 16.05.050 3. Oregon Revised Statutes, Chapter 92 https://www.oregonlegislature.gov/bills_laws/ors/ors092.html	\$500
Non-Conforming Use	1. Land Use Application 2. JCMC 17.125	\$250
Permitted Activities w/in Wetland Protection Area	1. Land Use Application 2. JCMC 17.60	\$1,630
Sign Permit (including Billboards)	1. Land Use Application 2. Supplemental Application - Sign Permit 3. JCMC 17.115	\$200 plus any required building permits
Subdivision: Final Plat	1. Land Use Application 2. JCMC 16.05 (Planning Commission Review)	\$1,760
Temporary Use Permit for Mobile Food Unit	1. Land Use Application 2. JCMC 17.135	\$100 annual
Variance	1. Land Use Application 2. JCMC 17.140	Minor - \$325
		Major - \$650
Wetland Resource Overlay District Map Correction	1. Land Use Application 2. JCMC 17.60	\$950

City of Junction City

LAND USE APPLICATION – TYPE I

Zoning Compliance Analysis	1. Land Use Application	\$200.00
Timeline Extension of Land Use Decision	1. Land Use Application	No Fee

Questions? Contact the City Planner for further information about criteria/requirements 541-998-4763

Table 2 Land Use Review Classifications – Refer to JCMC 17.150.070	Type I	Type II	Type III Public Hearing	Type IV Public Hearings
Administrative Decision (City Administrator or Designee) Exception: Final Subdivision Plats are reviewed by the Planning Commission (Decision can be appealed to Planning Commission)	X			
Planning Commission Decision (No public hearing however one can be requested) (Decision can be appealed to City Council)		X		
Planning Commission Public Hearing and Decision (Decision can be appealed to City Council)			X	
Planning Commission Public Hearing and recommendation to City Council; City Council Public Hearing and Decision (Appealed to Oregon Land Use Board of Appeals)				X

Table 3 Land Use Application Review Steps	Type I	Type II	Type III Public Hearing	Type IV Public Hearings
1. Land Use application submitted	X	X	X	X
2. Completeness Review to determine if all necessary information is included with application (14-30 days)	X	X	X	X
3. Application is incomplete, necessary information is requested from applicant/representative (application on hold)	X	X	X	X
4. Application is deemed complete and applicant/representative notified	X	X	X	X
5. Tentative date set for application to go before the Planning Commission	Final Plat	X	X	X
6. Tentative date set for application to go before the City Council				X
7. Department of Land Conservation & Development (DLCD) 35-day notice			Amendment only	Amendment only
8. Referrals sent to City Departments and outside agencies for their review (14-21 day response period, 30 days if Wetlands involved)	X	X	X	X
9. Opportunity to Comment mailed to property owners w/in 300-feet of subject site (may run concurrent w/ Referrals) (20-40 days before meeting)		X		
10. Planning Commission Notice of Public Hearing mailed to property owners within 300-ft of subject site (may run concurrent with referrals) (20-40 days prior to public hearing)			X	
11. Planning Commission review and decision	Final Plat	X	X	
12. Planning Commission Recommendation to City Council			Map Amendment	X
13. City Council Notice of Public Hearing mailed to property owners within 300-ft of subject site (may run concurrent with referrals) (20-40 days prior to public hearing)				X
14. City Council review and decision			Map Amendment	X
15. Letter of Decision, with supporting documentation, sent to applicant/representative (w/in 5 business days of decision)	X	X	X	X
16. Appeal Period begins day notice is sent to applicant/representative	X	X	X	X
17. Decision becomes final (unless appealed)	X	X	X	X

* An applicant may request reviews be conducted parallel to one another, or concurrently (Junction City Municipal Code 17.150.130). If review is concurrently, they will be reviewed under the highest Land Use classification (i.e. a Type I review application concurrent with a Type IV, both are reviewed as a Type IV).



CITY OF JUNCTION CITY LAND USE APPLICATION

1171 Elm Street/PO Box 250 Junction City OR 97448

Ph 541-998-4763 ■ jcplanning@ci.junction-city.or.us ■ www.junctioncityoregon.gov

Date Submitted: 9-16-2025	Received By: D. Northey	Fee Paid: \$ \$200 Check #:4530	Supplemental Application:
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Section 1

LAND USE ACTION (SEE TABLE 1):

Section 2

Site Address: 292 Oak St, Junction City, OR 97448	Location Description: Near Junction city School
Property Size: 1.24 Acre	Assessor's Map & Tax Lot #: 15-04-31-44-01100
Present Use: Eric Park Apartments	Proposed Use: Eric Park Apartments
Brief Summary of Action Requested: Installation of Monument Sign	
Are there other permit applications associated with this application? If yes, list: No	

Section 3

I have the following legal interest in the property (Circle one):

Owner of Record
 Lessee
 Contract Purchase
 Holder of an exclusive Option to Purchase

Written authorization from the owner to act as his/her agent must be provided if not the owner of record

Section 4

Applicant: Karl Wellens

Address: 200 E Main St. Enterprise, OR 97828

Phone: 541-398-2008	E-Mail: karl.wellens@abchase.io
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Property Owner: Viridian management

Address: 200 E Main St. Enterprise, OR 97828

Phone: 541-426-3820	E-Mail:
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Contact: Same as Applicant
(if different than Applicant)


Address:

Phone:	E-Mail:
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City of Junction City
LAND USE APPLICATION

Section 5	
Required Information	
	Written statement describing proposal in detail
	Narrative Statement explaining how the application complies with all relevant criteria with enough detail for review and decision-making. <i>Note: See Type I information, at the beginning of this packet, for the municipal code chapters and/or sections related to your land use request</i>
	Three (3) paper copies of application packet including any plan sets
	Digital copy of application packet including any plan sets
	Non-refundable Application Fee

Section 6	
Supplemental Application:	Yes <input type="checkbox"/> No <input type="checkbox"/>
Attachment(S):	Yes <input type="checkbox"/> No <input type="checkbox"/>

Section 7	
Your signature below acknowledges the following:	
<p>1. Payment of the base fee may not cover the City's costs associated with processing the Application. <i>Per Resolution 1053: All direct costs for contracted services shall be charged monthly to the applicant in the amount billed to City. Contracted city services include, but are not limited to, city engineer, city attorney, building inspector, traffic consultant, &/or wetlands specialist. Direct costs 30 days past due shall be charged 9% interest in addition to the amount billed to the City.</i></p>	
<p>2. The foregoing statements and other information attached hereto are true and accurate to the best of my knowledge and belief.</p>	
<p>3. Signer agrees to pay all direct costs associated with processing this land use application.</p>	
Applicant Signature:	
Date:	Karl Wellens  <div style="font-size: 8px; margin-left: 5px;"> Digitally signed by Karl Wellens DN: c=US, E=karl.wellens@abchase.io, CN=Karl Wellens Reason: I am approving this document Date: 2025.09.09 11:11:48-07'00' </div>



CITY OF JUNCTION CITY LAND USE APPLICATION SIGN PERMIT

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Date Submitted: 9-16-2025	Received By: D. Northey	Fee Paid: \$ 200.00 Ck #:4530	File #: S-25-31
Property Description Apartments	Map No. 15-04-31-44	Tax Lot(s): 01100	
	Allowable Area: JCMC - Code	Area Approved: 32 Sq Ft	
Zoning District: R3	Approved By: D. Northey	Date Approved: 9-16-2025	

Sign standards; see Junction City Municipal Code Chapter 17.115. The Sign Code is available on-line at www.junctioncityoregon.gov. Contact the Planning Department at 541-998-4763 with sign permit questions.

Complete all fields on the application form below and on reverse.

Site Address: 292 Oak St, Junction City, OR 97448			
Contractor: AB Chase Construction		Contractor Phone: 541-398-2008	
Contact Address: 200 E Main St. Enterprise, OR 97828		Contractor Email: karl.wellens@abchase.io	
Electrical Permit Required : Yes [] No [X] If yes, Electrical permit required	Sign Type: [X] Ground* [] Wall*	[] Projecting* [] Free Standing*	[] Roof*
*May require a building permit			
Sign Dimensions in feet: Horizontal: 8' Vertical : 4'-4" Number of Faces: 2 Total Sign Area: 32 sq. ft.			
Height to bottom of sign: 0'	Lot Frontage:	Building Frontage:	
Pre-Existing Signs to Remain? [] Yes [X] No List signs to remain and dimension(s) of each			
I, the undersigned applicant to hereby swear or affirm that the above information is true and correct to the best of my knowledge in accordance with the ordinances of the City of Junction City, and the sign shall be constructed in conformance with the requirements of the Uniform Sign Code.			
Signature of Applicant Karl Wellens		Date 9/9/25	

Daily Display Signs in Right-of-Way Only	
Applicant agrees to hold harmless and indemnify the City of Junction City, Oregon from any and all liability for injury to persons or property occurring as a result of the sign placed in the right-of-way.	
Signature of Applicant	Date



CITY OF JUNCTION CITY LAND USE APPLICATION SIGN PERMIT

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Contractor: AB Chase Construction	Contractor Phone: 541-398-2008
Contact Address: 200 E Main St. Enterprise, OR 97828	Contractor Email: karl.wellens@abchase.io
Electrical Permit Required : Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> If yes, Electrical permit required	Sign Type: <input checked="" type="checkbox"/> Ground* [] Projecting* [] Roof* [] Wall* [] Free Standing* <i>*May require a building permit</i>
Sign Dimensions in feet: Horizontal: 8' Vertical: 4'-4" Number of Faces: 2 Total Sign Area: 32 sq. ft.	
Height to bottom of sign: 0'	Lot Frontage: Building Frontage:
Pre-Existing Signs to Remain? [] Yes <input checked="" type="checkbox"/> No List signs to remain and dimension(s) of each	
I, the undersigned applicant to hereby swear or affirm that the above information is true and correct to the best of my knowledge in accordance with the ordinances of the City of Junction City, and the sign shall be constructed in conformance with the requirements of the Uniform Sign Code.	
Signature of Applicant Karl Wellens 	Date 9/9/25

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Signature of Applicant	Date



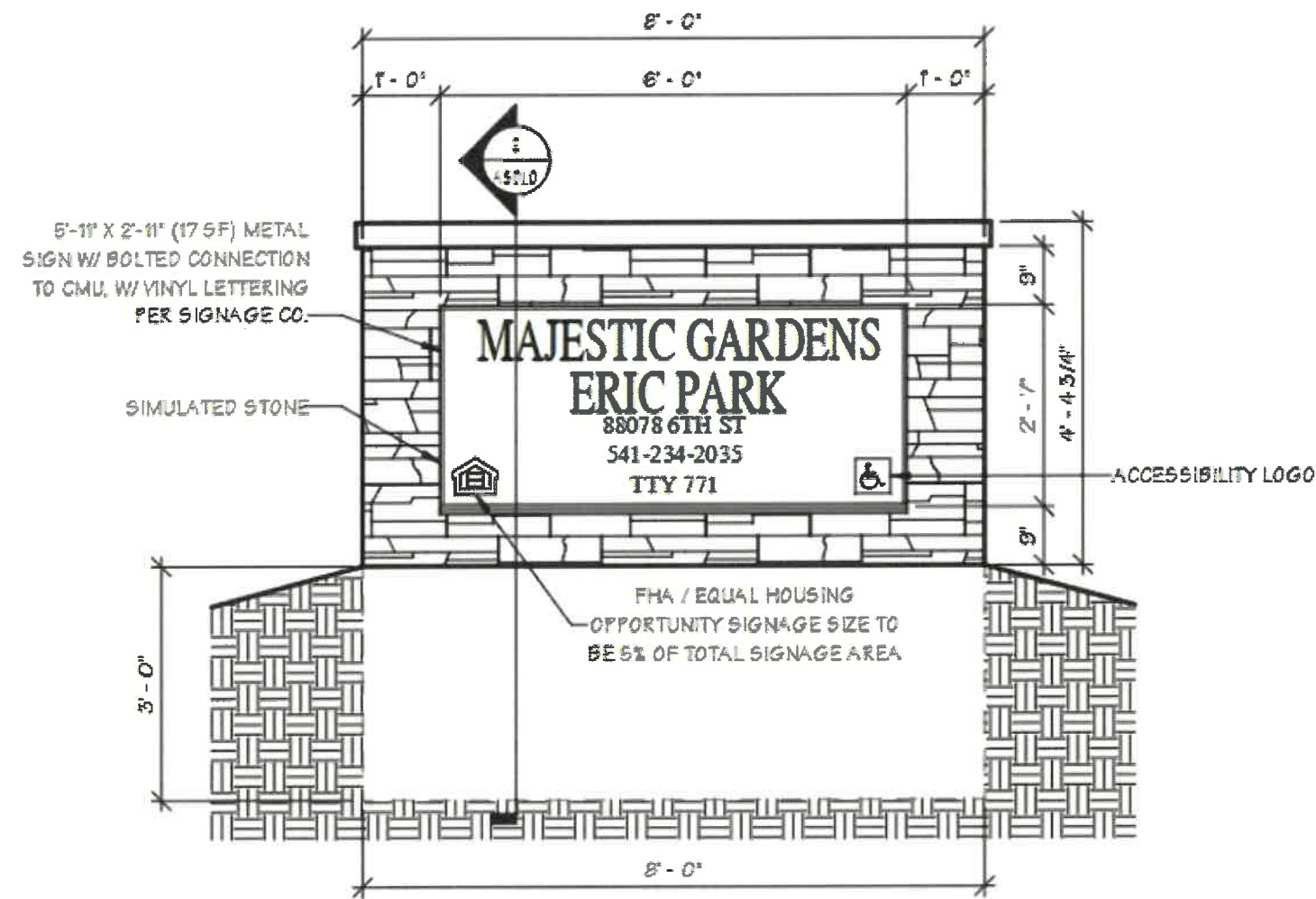
CITY OF JUNCTION CITY **SIGN PERMIT APPLICATION**

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Site Plan

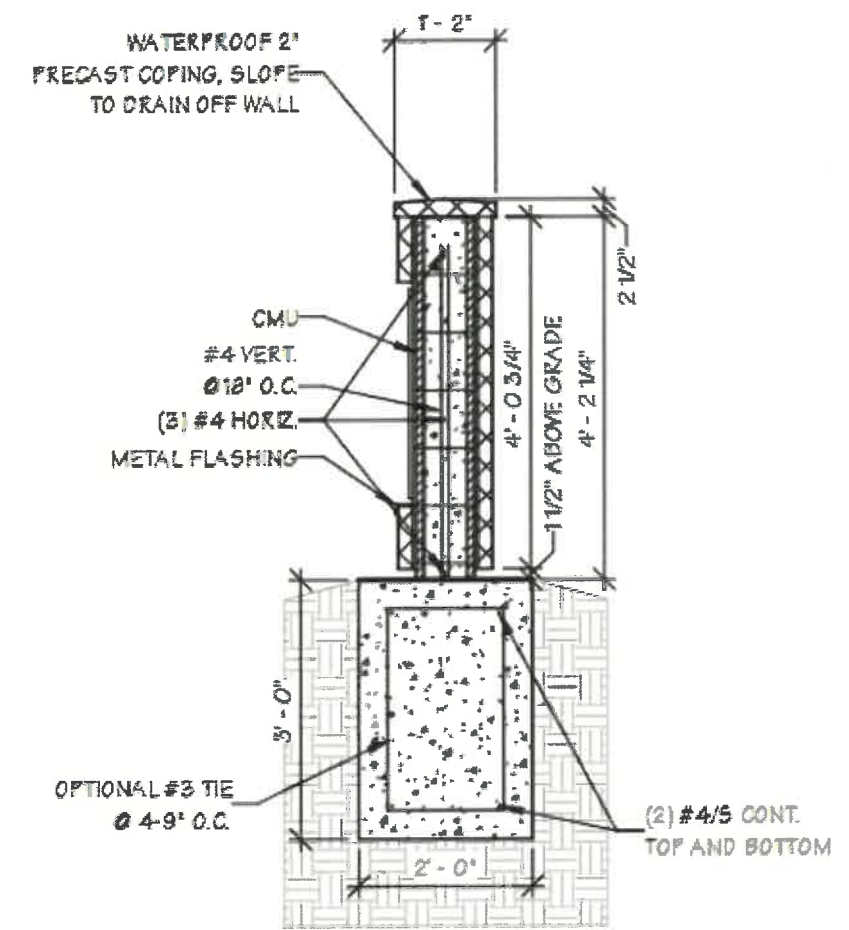
Please sketch or attach a drawing detailing sign dimensions and the location in relation to the property lines, building, and existing or proposed driveways.

A large, empty rectangular box with a thin black border, intended for the applicant to draw a site plan showing sign dimensions and location relative to property lines, buildings, and driveways.



1
AS2.0 SCALE 1/2" = 1'-0"

STONE MONUMENT SIGN - FRONT ELEVATION



2
AS2.0 SCALE 1/2" = 1'-0"

STONE MONUMENT SIGN - END ELEVATION

SITE WORK KEYNOTES

- S1 DEMOLISH AND REMOVE EXISTING PROPERTY SIGN, INCLUDING FOOTINGS. INSTALL NEW PROPERTY SIGN (SIGN AND POSTS). SEE ARCH SITE PLAN FOR APPROX. LOCATION
- S2 REMOVE AND REPLACE ALL AREAS OF ASPHALT PAVING. PROVIDE PAINT STRIPING
- S3 AT THE CONCLUSION OF CONSTRUCTION ACTIVITIES, REPAIR LANDSCAPING AND RESTORE TO PREEXISTING CONDITION
- S4 REMOVE ALL EXISTING LIGHT POLES. PROVIDE INSTALL & CONNECT POWER TO NEW ENERGY-STAR RATED POLE-MOUNTED SITE LIGHT FIXTURES WITH INTEGRATED LED BULBS. LIGHT MUST BE DARK SKY COMPLIANT SHOWN AT EXISTING LOCATIONS ON SITE PLAN. SEE ELECTRICAL SCHEDULE FOR PART NUMBER
- S5 REMOVE EXISTING AND INSTALL NEW PRIVACY SLATS AT EXISTING CHAIN LINK FENCE DUMPSTER ENCLOSURE
- S6 REMOVE AND REPLACE EXISTING BUILDING WATER SERVICE SHUT-OFF VALVES, ONE PER BUILDING
- S7 PROVIDE TREE REMOVAL AND STUMP GRINDING PER ALLOWANCE. OWNER TO COORDINATE WITH GENERAL CONTRACTOR
- S8 PROVIDE LANDSCAPE IMPROVEMENTS AS DIRECTED BY THE GENERAL CONTRACTOR. GENERAL CONTRACTOR TO COORDINATE W/OWNER
- S9 REMOVE EXISTING AND INSTALL ACCESSIBLE CONCRETE PARKING SPACES AND AISLES NOT TO EXCEED 2% MAX SLOPE IN ANY DIRECTION
- S10 REMOVE EXISTING MAILBOXES. INSTALL NEW PEDESTAL MAILBOXES AND CONCRETE PAD AT NEW LOCATION INDICATED ON ARCHITECTURAL SITE PLAN
- S11 REMOVE EXISTING, PROVIDE AND INSTALL CONCRETE WHEEL STOPS AT LOCATIONS SHOWN ON SITE PLAN
- S12 REMOVE & REPLACE CONCRETE CURB RAMPS AS INDICATED ON SITE PLAN
- S13 REMOVE EXISTING AND INSTALL NEW CONCRETE PATIO AT UFAS UNIT
- S14 REMOVE EXISTING CONCRETE SINGLE CURB RAMP, DETECTABLE WARNING MAT, METAL GUARDRAIL AND EDGE PROTECTION AND INSTALL NEW CONCRETE ACCESSIBLE CURB WALK CONNECTING TO ADJACENT PROPERTY EXISTING PUBLIC SIDEWALK AT LOCATION INDICATED ON SITE PLAN
- S15 REMOVE EXISTING AND INSTALL NEW CEDAR PRIVACY FENCE PANELS AT LOCATIONS SHOWN ON SITE PLAN
- S16 REMOVE EXISTING, PROVIDE AND INSTALL (1) FIRE EXTINGUISHER PER BUILDING ACCESSIBLE FROM SIDEWALK

STORM/SEWER NOTES:

- V1 - SEWER, MODERATE DEBRIS OFR 40', RECOMMEND JET.
- V2 - SEWER, CLEAR FOR 150'.
- V3 - SEWER, CLEAR TO TOILET.
- V4 - SEWER, MINOR DEBRIS OTHERWISE CLEAR.
- V5 - SEWER: BACK INTO UNITS 6 & 5, MILD DEBRIS FOR 26'.
- V7 - SEWER: SCOPE WENT UP TO SECOND STORY, ALL CLEAR FOR 22'.
- V8 - SEWER: OUT FROM BUILDING WITH UNITS 9-16. AT 10' THE PIPE DROPS INTO MAIN SEWER LINE.
- V9 - SEWER: BELLY FROM 14' TO 31'
- V10 - SEWER: UNDERNEATH UNITS 19 & 20, PIPE WAS CLEAR.
- V11 - SEWER: BACK INTO UNITS 17 & 18, MODERATE DEBRIS, RECOMMEND JETTING.
- V12 - SEWER: OUT FROM UNITS 17 & 18, MODERATE DEBRIS THEN CLEAR.
- V13 - SEWER: INTO UNIT 11 AND UP TO UNIT 15, CLEAR.
- V14 - SEWER: OUT FROM UNIT 11, MEETS FOR SEWER MAIN, CLEAR.
- V15 - RAIN DRAIN: STANDING WATER FOR FIRST 5' THEN CLEAR, RECOMMEND JETTING.
- V16 - RAIN DRAIN: FROM BACK CORNER OF UNIT 19 TO THE FRONT OF THE UNIT. CLEAR FOR 33' THEN MAJOR ROOT INTRUSION.
- V17 - RAIN DRAIN: STANDING WATER FORM 0' TO 9' THEN TOTAL BLOCK AT 34'.
- V18 - RAIN DRAIN: MODERATE TO SEVER DEBRIS TO TOTAL BLOCK AT 34'.
- V19 - RAIN DRAIN: MODERATE DEBRIS FOR 19' THEN TOTAL BLOCK.
- V20 - CATCH BASIN: PIPE IS CLEAR FROM BASIN TO RAIN DRAIN IN FRONT OF UNIT 19.
- V21 - CATCH BASIN: 8" PIPE, CLEAR TO ADJACENT CATCH BASIN.
- V22 - CATCH BASIN: 4" PIPE, CLEAR FOR 50' BACK TOWARDS COMMUNITY BUILDING.
- V23 - CATCH BASIN: 8" PIPE, CLEAR TO DAYLIGHT IN ADJACENT FIELD.
- V24 - CATCH BASIN: CLEAR FROM CATCH BASIN TO ADJACENT CATCH BASIN.
- V25 - CATCH BASIN: 8" PIPE, CLEAR TO DAYLIGHT IN ADJACENT FIELD.
- V26 - CATCH BASIN: CLEAR FOR 63', RUNNING TOWARDS UNITS 1-4.

NOTES:
 CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND MEASUREMENTS.
 MITIGATE ANY HAZARDOUS MATERIALS (ASBESTOS, LEAD-BASED PAINT, ETC.) THAT IS IDENTIFIED IN THE OWNER PROVIDED ENVIRONMENTAL REPORT



MAJESTIC GARDENS (ERIC PARK)
 JUNCTION CITY, LANE COUNTY, OREGON



OREGON STATE CERTIFICATE OF AUTHORITY: ARF-11269

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 PROJECT 1ST ISSUED
 11 SEP 2024

ISSUE/REVISIONS	
▲ 11 SEP 2024	ISSUE SET
▲ 10 JAN 2025	ADDENDUM #1
▲ 07 FEB 2025	ADDENDUM #2
▲ 11 JUN 2025	ADDENDUM #5
▲ 28 AUG 2025	ASI #2

SHEET NO. **AS1.0**

JOB NO. 4748

8/27/2025 10:35:46 AM

LEGEND

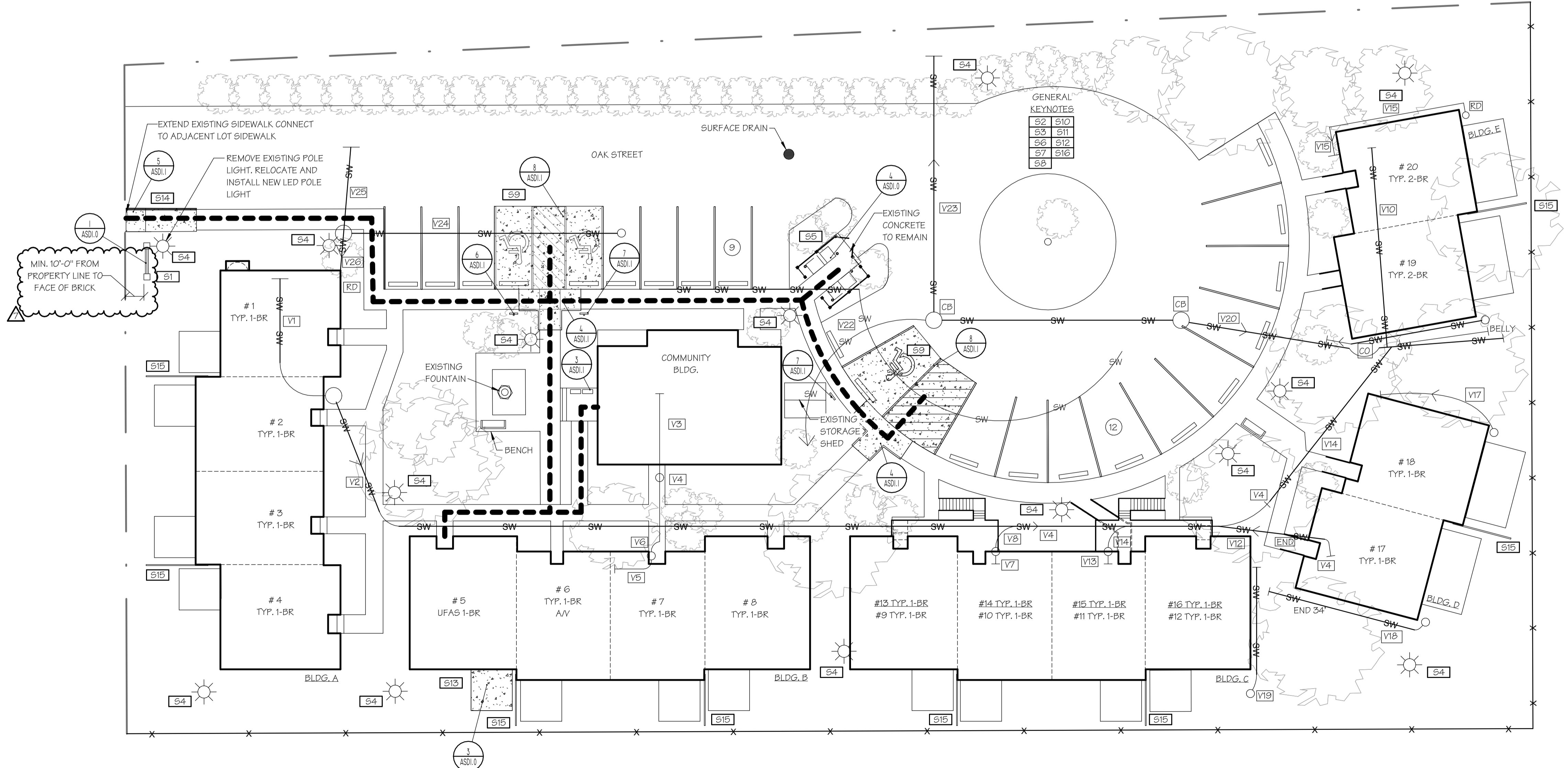
- ACCESSIBLE ROUTE (36" MIN. WIDTH, 2% CROSS SLOPE MAX, 5% RUNNING SLOPE MAX, REPLACE AS REQUIRED.)
- UFAS ACCESSIBLE
- FENCE
- AREAS OF DEMO
- AREAS OF ASPHALT/CONCRETE REPLACEMENT
- FIRE HYDRANT
- SITE LIGHTING
- ACC. PARKING SIGN

NOTE: INSTALL HANDRAILS @ ACCESSIBLE ROUTES AND WHERE OTHERWISE NOTED EXCEEDING 5%, BUT LESS THAN 8.33%. 5'-0" LANDING REQUIRED AT TOP AND BOTTOM OF RAMP.

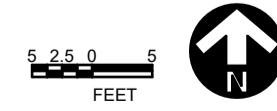
NOTE: APARTMENT NUMBERS ARE TO BE FIELD VERIFIED BY GENERAL CONTRACTOR. ARCHITECT TO BE NOTIFIED OF ANY DISCREPANCY PRIOR TO FINAL PRODUCTION/INSTALLATION.

ACCESSIBILITY NOTES

1. SIDEWALK ON THE ACCESSIBLE ROUTE SHALL NOT EXCEED 5% (1'-0" IN 20'-0") RUNNING SLOPE WITH A 2% (1'-0" IN 50'-0") CROSS-SLOPE AND SHALL BE 4' WIDE MIN. EXCEPT AS NOTED ON SITE PLAN. PROVIDE STAIRS, RAMPS, CURBS, ETC., AS NOTED AND DETAILED.
2. PARKING AREAS AND ACCESSIBLE SPACES AND ACCESSIBLE AISLES SHALL NOT EXCEED A 2% (1'-0" IN 50'-0") SLOPE IN EACH DIRECTION. OTHER PORTIONS OF THE ACCESSIBLE ROUTE SHALL NOT EXCEED A 5% (1'-0" IN 20'-0") LONGITUDINAL SLOPE NOR A 2% (1'-0" IN 50'-0") CROSS-SLOPE.



1 ARCHITECTURAL SITE PLAN

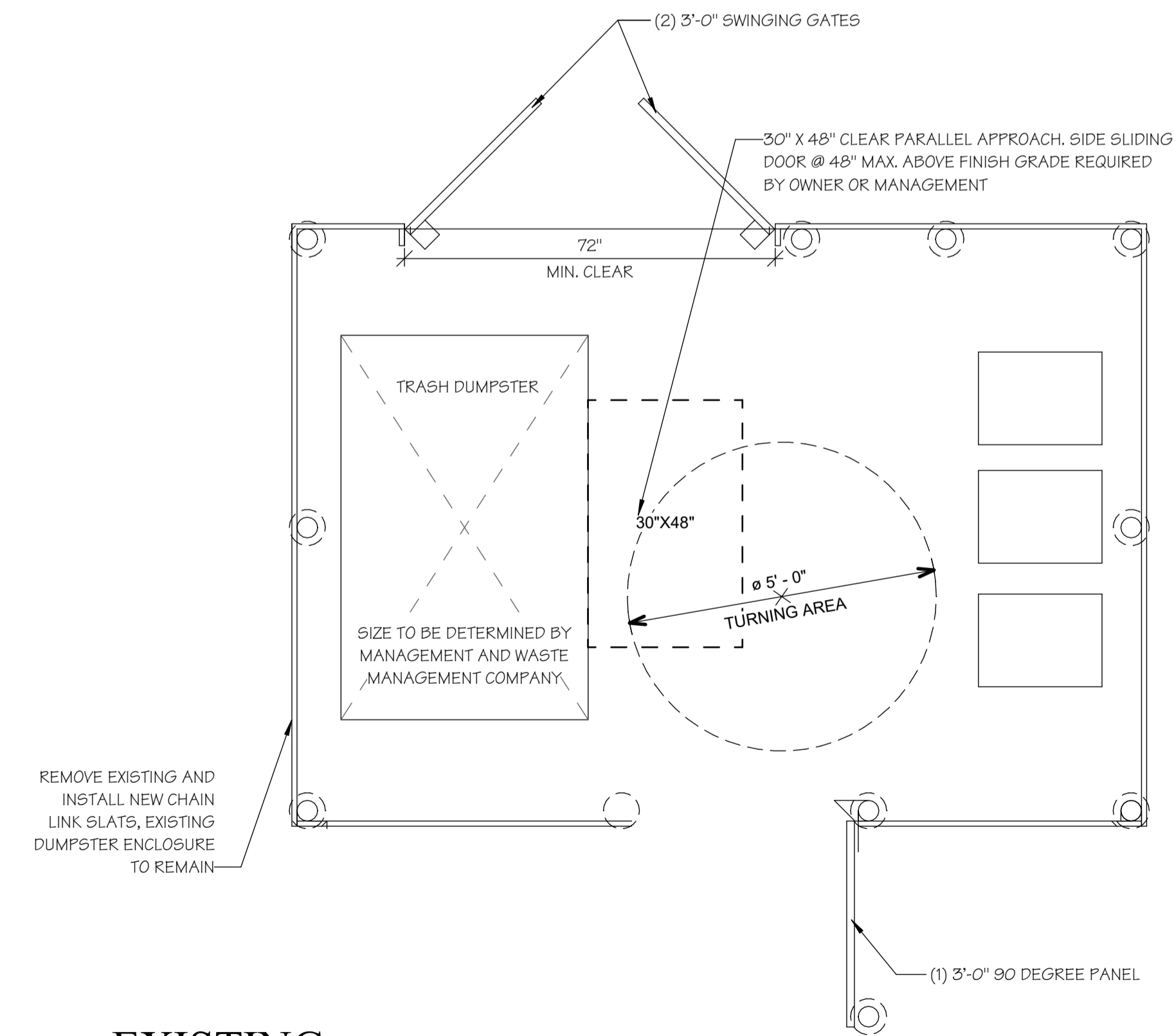
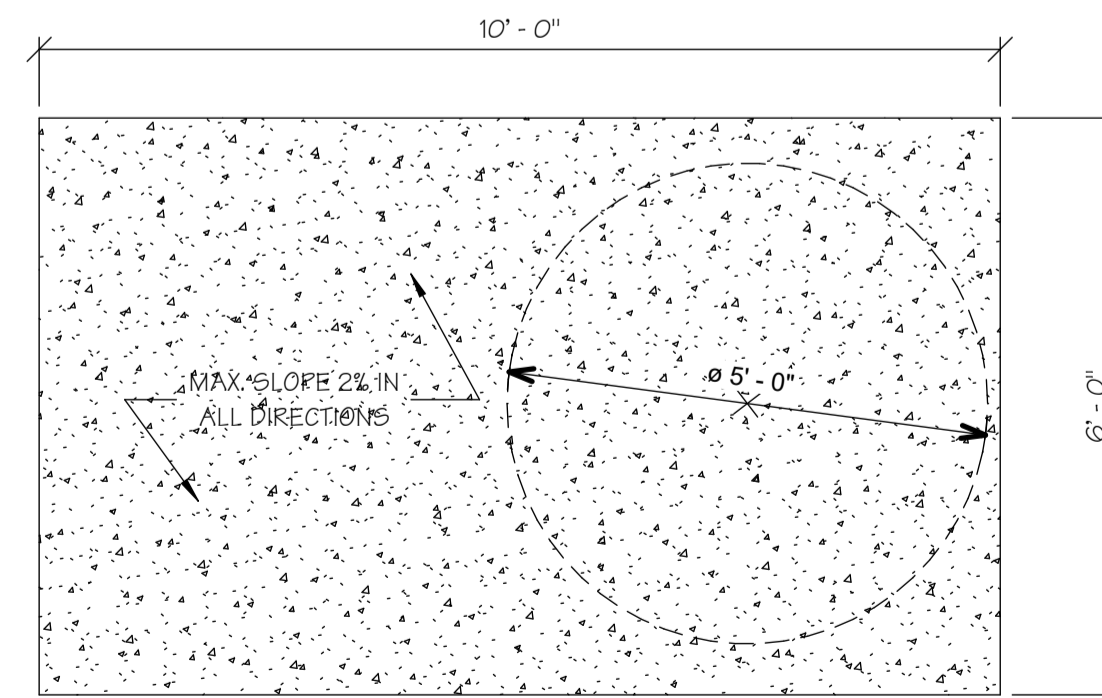
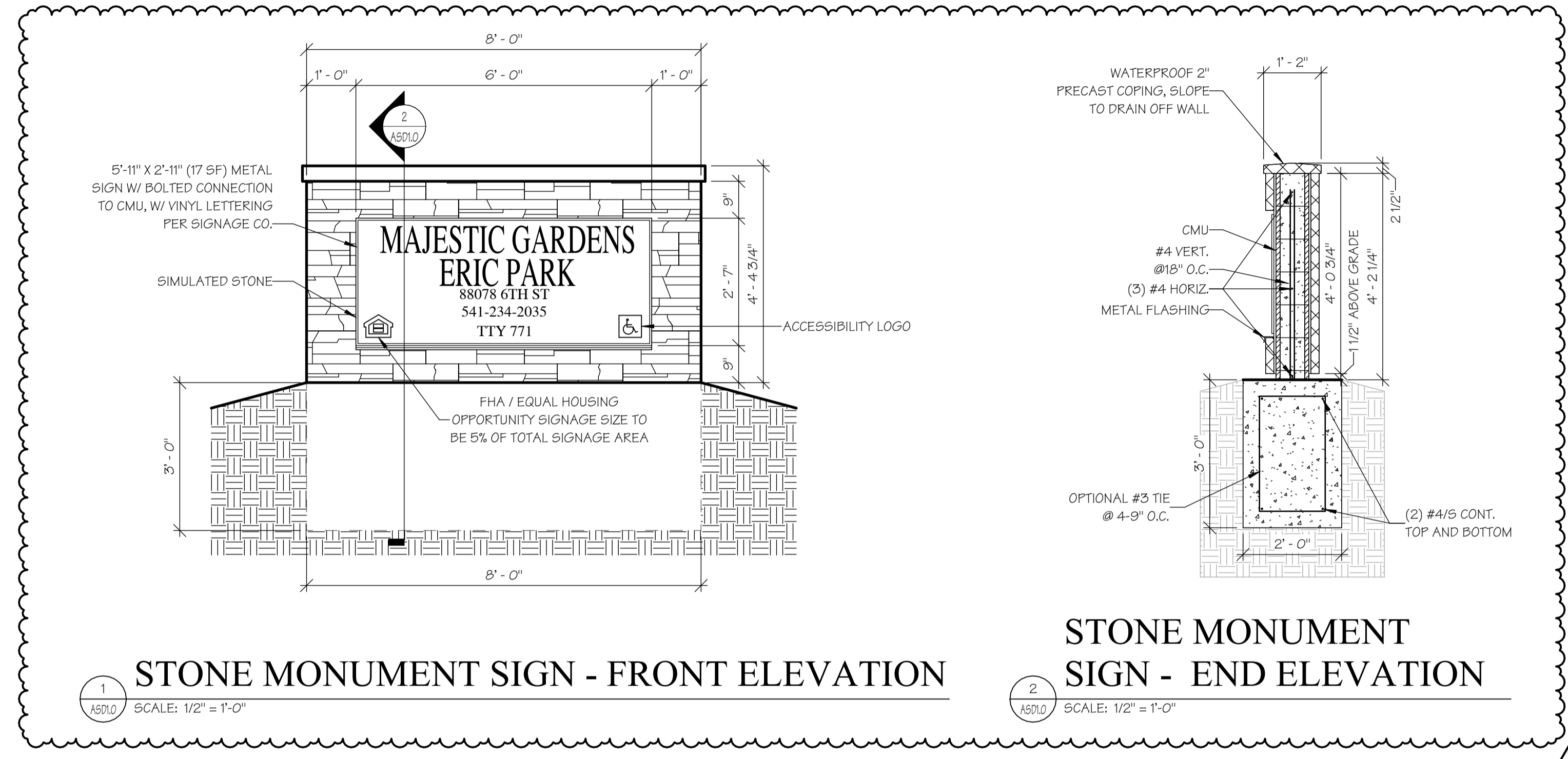


FOR CONSTRUCTION

NOTES:
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MITIGATE ANY HAZARDOUS MATERIALS (ASBESTOS, LEAD-BASED PAINT, ETC.) THAT IS IDENTIFIED IN THE OWNER PROVIDED ENVIRONMENTAL REPORT

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FOR CONSTRUCTION